



**TOWN OF WINCHESTER
PLANNING BOARD MEETING
TUESDAY, JULY 21, 2020 @ 7:30PM**

REMOTE PARTICIPATION

Join Zoom Meeting

<https://us02web.zoom.us/j/85883498628?pwd=cTdSK2RORDFmcXI4eG5MK1VqSi92Zz09>

Meeting ID: 858 8349 8628

Password: 365533

Join by phone

+1 929 205 6099

Meeting ID: 858 8349 8628

Password: 365533

	BUSINESS
7:30PM	Open Meeting, Updates, Meeting Minutes
7:45PM	ZBA Petitions: No. 3907 – 78 Sylvester Ave No. 3908 – 77 Woodside Ave No. 3909 – 326 Highland Ave
8:30PM	The Vale-Woburn
9:15PM	FY21 Agenda items
9:45PM	New Business not known at time of posting
10:00PM	Adjourn

	CORRESPONDENCE
	None

	2020 MEETINGS
	TBA



TOWN OF WINCHESTER

OFFICE OF PLANNING DEPARTMENT

BRIAN SZEKELY

Town Planner

71 Mount Vernon Street
Winchester, MA 01890

July 21, 2020 Planning Board Meeting

PETITION 3907

78 SYLVESTER AVE

Petitioner seeks a Special Permit from Section 3.5.7 so as to be permitted to demolish a pre-existing non-conforming single family dwelling located on a lot which does not meet the lot frontage and lot width requirements and to construct a new single family dwelling that will be located closer to the front and side property lines than permitted as of right. The property is located in the RG zoning district and contains 6,500 SF. The house was already subject to a demolition hearing, where the Historical Commission deemed the structure to not be historically significant and subsequently allowed the demo permit to proceed. *The Historical Commission voted “no adverse impact on a historic resource” for the Special Permit application at their meeting on June 29, 2020.*

	Requirement	Existing		Proposed	
Lot Size	6,500 SF	6,500 SF		Unaltered	
Front Setback	20'	10.4'		Unaltered	
Rear Setback	10'	53'		7' (garage where 5' is allowed)	
Side Setback	10'	9.0'	10.3'	9.0'	10.3'
Green Space	Min 35%	30.7%		28.1%	
Hardscape	Max 35%	13.2%		13.7%	
Frontage	65'	50'		Unaltered	

A 1-story house is to be demolished and a 1.5-story house will be built on the existing foundation with a 28'x10' addition built to the rear of the building on a new foundation, and a new garage towards the rear of the property. What an interesting and fun house. I hope to see more houses like this that embrace the character and scale of Winchester neighborhoods. I recommend favorable action with regards to this petition.

n additional story is planned over an existing bumpout towards the rear of the property. It is a minor addition, with no issues based on the scale, style, character, and materials planned for the

project. The footprint is not changing as a result of the project either. No setbacks are changing and the nonconforming nature of the setbacks is consistent throughout the neighborhood. *I recommend favorable action with regards to this addition / upgrade of the house.*

What is of note is the large change in topography of the rear yard, which abuts DPW land. To flatten out the lot, 2 retaining walls are planned which envelope the rear yard. The outer walls are 11' high all around and 3 large trees (2 -10" diameter and 1-18" diameter). Walls of this height are generally uncomfortable for direct abutters, especially with smaller lots that don't have a lot of frontage. I would certainly prefer that the lot and house be improved rather than joined with another lot and demolished. However, walls of this height are too high for thickly settled area backyards.

PETITION 3908

77 WOODSIDE ROAD

Petitioner seeks a Special Permit from Section 3.5.5 so as to be permitted to construct an addition that will be located closer to the side property lines than permitted as of right. The property is located in the RDB zoning district and contains 6,300 SF. The home was built in the mid 1920s. *The Historical Commission voted "no adverse impact on a historic resource" at their meeting on June 29th.*

	Requirement	Existing		Proposed	
Lot Size	10,000 SF	6,300 SF		unaltered	
Front Setback	25'	24.5'		unaltered	
Rear Setback	15'	55'		30'	
Side Setback	15'	10.1	11.2	unaltered	unaltered
Green Space	Min 35%			63%	
Hardscape	Max 35%			9%	
Frontage	80'	60'		unaltered	

The proposal entails the removal of a rear deck and masonry, with a 25'x23' 2nd-story addition and a new rear deck over an existing sunroom. No nonconformities are becoming worse as a result of the proposal. Much of the addition will not be seen from the street. Scale and character appear to keep with the house and the neighborhood. I recommend favorable action with regards to this petition.

PETITION 3909

326 HIGHLAND AVE

Petitioner seeks Site Plan Review under Section 9.5.1 so as to be permitted to construct an addition that is less than 500 square feet but where the total floor area is greater than 5,000 square feet. The property is located in the RDB zoning district and contains 26, 106 SF. *The Historical Commission voted “no adverse impact on a historic resource” at their meeting on June 29th.*

	Requirement	Existing		Proposed	
Lot Size	10,000 SF	26,106 SF		unaltered	
Front Setback	25'			60+'	
Rear Setback	15'			64'	
Side Setback	15'			30.2'	42.4'
Green Space	Min 35%			68%	
Hardscape	Max 35%			16.5%	
Frontage	80'	129'		unaltered	

The proposal is to construct a 2-story addition with a net increase of 488 SF to the side of the house. All requirements are conforming pre and post construction. This is an exquisite house and the addition is keeping with the character and materials. No adverse impact on the neighborhood, and therefore I recommend favorable action with regards to this petition.

Winchester ZBA
July 14th 2020

RE: 77 Woodside Road

Dear Winchester Board Members,

As stated in our ZBA application cover letter, we have special circumstances at 77 Woodside due to surveying error discovered after having attained a building permit for this project. We have taken the Engineering Department's recommendations into consideration and would like to present the attached information in reply to those recommendations.

After discovery of the surveyor's mistake, our main concern was making the site safe, primarily to prevent pending hard rains from undermining the existing house foundation. While we knew that the project would then require a special permit and ZBA approval, it was not expected that the geotech engineering, currently recommended, would be required since it was not a requirement to obtain the initial building permit. Given the circumstances, we did not have the time required to obtain geotech engineering and we needed to act swiftly to secure the existing foundation and footings. However, provisions were made for storm water management for the new addition as indicated on the revised site plan and attached photographs. These conditions were also observed by the Winchester Building Department during their inspection of the foundation and back-fill.

The volume of the gravel placed will easily handle over 900 gallons of runoff which is over 250 gallons more than required for the proposed additional roof area. I have also shown on the site plan that a qty. of 4 Flow Well tanks with gravel would alone handle the required runoff volume. It is my professional opinion that these tanks will not be needed given the existing placed gravel and they would never see a drop of water, even during a 100 year rain event.

We respectfully ask that the town Engineering Department and the ZBA take these circumstances into consideration.

Thank You,

Guy Dixon, Architect for Julia and Patrick Aquino

A handwritten signature in black ink, appearing to read 'Guy Dixon', with a long horizontal line extending to the right.

Thank you,
Guy Dixon, Architect for Julia and Patrick Aquino

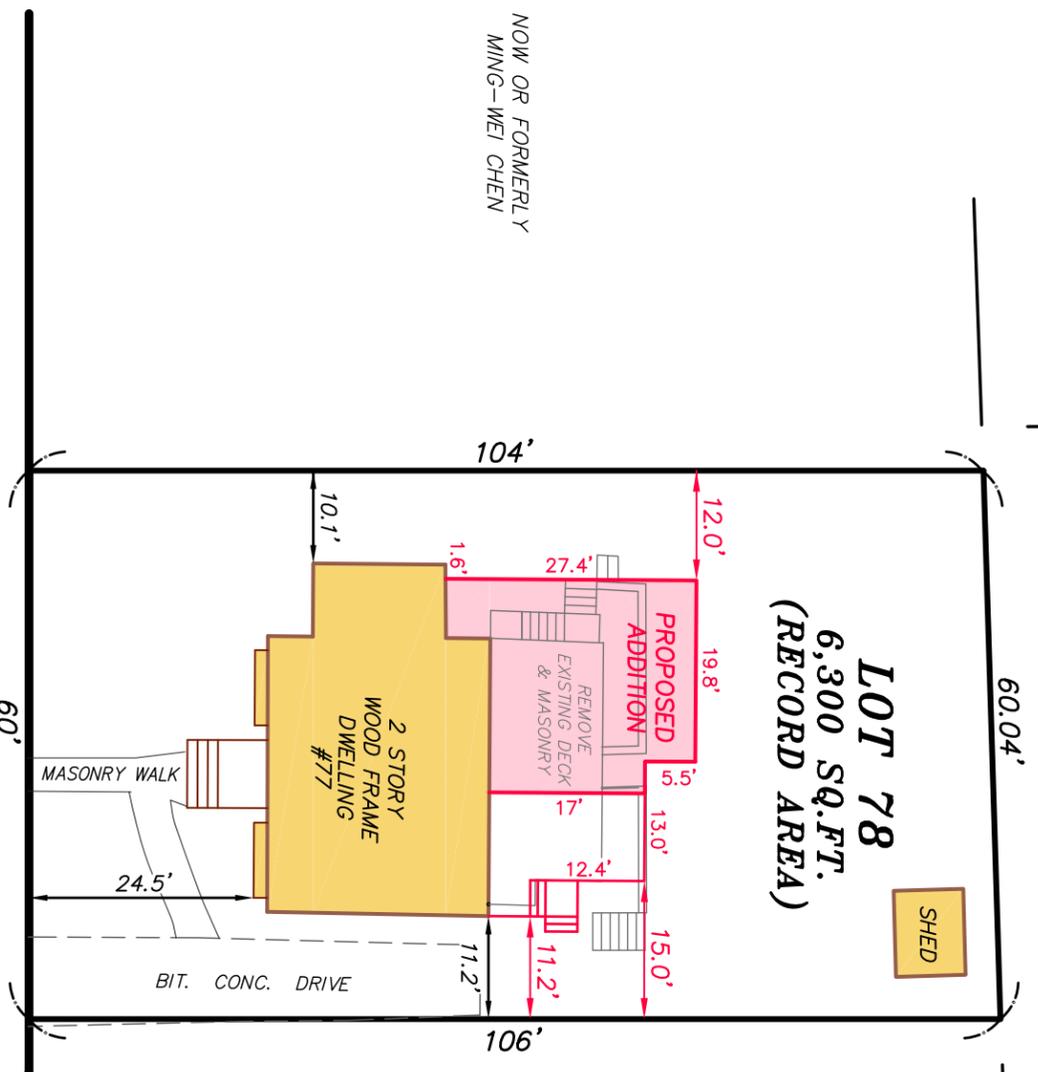
PROPOSED OPEN AREA: 72% ±
 PROPOSED HARDSCAPE: 9% ±
 PROPOSED GREENSPACE: 63% ±

NOW OR FORMERLY
 NEIL T. FOLEY

NOW OR FORMERLY
 ROBERT S. PAINE, TRUSTEE

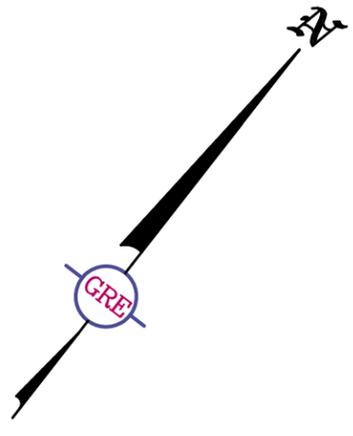
NOW OR FORMERLY
 MING-WEI CHEN

NOW OR FORMERLY
 MILES J. UNGER



WOODSIDE

ROAD



NOTES:

1. THIS IS AN ELECTRONIC COPY OF A PLAN BY GRE SURVEYING LLC. THE SOLE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF THE PROPOSED ADDITION & CALCS. ANY OTHER USE OF THIS PLAN OR A MODIFICATION THEREOF MAY CONSTITUTE FRAUD AND WILL RENDER THIS PLAN NULL AND VOID.
2. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES NOR FOR TITLE INSURANCE PURPOSES.
3. THIS PLAN DOES NOT REPRESENT A CONFIRMATION OF BOUNDARY LINES NOR A DETERMINATION OF TITLE BUT IS SOLELY INTENDED TO DEPICT THE OFFSET DIMENSIONS OF THE PROPOSED ADDITION TO THE LOT LINES AS DEPICTED ON A PLAN RECORDED IN LAND COURT AS PLAN No. 5512-R
4. THE SUBJECT PROPERTY IS DEPICTED AS BLOCK 195 ON WINCHESTER ASSESSOR'S MAP 19
5. OWNERS OF RECORD ARE PATRICK R. AQUINO & JULIA F. AQUINO, TRUSTEES, 77 WOODSIDE ROAD, WINCHESTER, MA 01890.
6. ZONING DISTRICT IS RDB.
7. ANY OFFSETS SHOWN HEREON ARE TO THE NEAREST ONE TENTH (1/10) OF A FOOT, UNLESS INDICATED OTHERWISE.

REFERENCES:

1. CERTIFICATE OF TITLE No. 257024
2. LAND COURT PLAN No. 5512-R
3. PLAN & PROFILE OF WOODSIDE ROAD DATED NOV. 18, 1921 BY JAMES HINDS TOWN ENGINEER

PLOT PLAN of LAND

LOCATED IN
WINCHESTER, MASSACHUSETTS
 (MIDDLESEX COUNTY)

PREPARED FOR
JULIA AQUINO

SCALE: 1" = 20' DATE: MAY 26, 2020



P.O. Box 684 Winchester, MA 01890
 Telephone 781-721-1944

DWG No. 191001 PP GRE No. 950739

ALL DRAWINGS AND DESIGNS CONTAINED HERE ARE THE SOLE PROPERTY OF GUY DIXON ARCHITECT. NO PUBLICATIONS OR USE OF THESE DOCUMENTS IS PERMITTED WITHOUT THE PRIOR APPROVAL OF GUY DIXON ARCHITECT



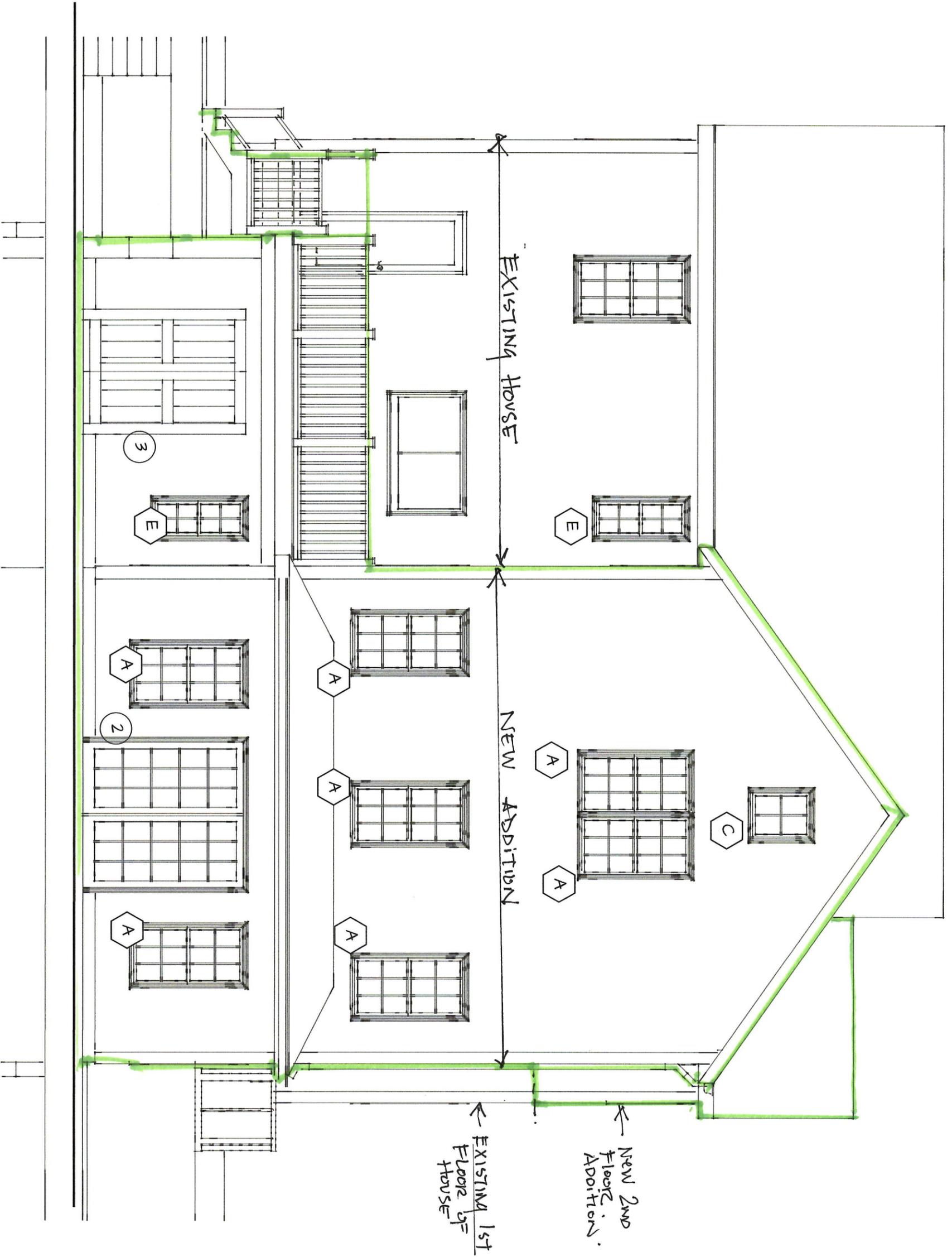
ZBA
A-2.1

5/25/2020

SE ELEVATION
RIGHT

Aquino Residence
77 Woodside Rd.
Winchester, MA 01890

GUY DIXON, AIA
RESIDENTIAL ARCHITECTURE
781-218-9489
guydixonarchitect@gmail.com



ZBA
A-2.2

5/1/2020
NE ELEVATION
REAR

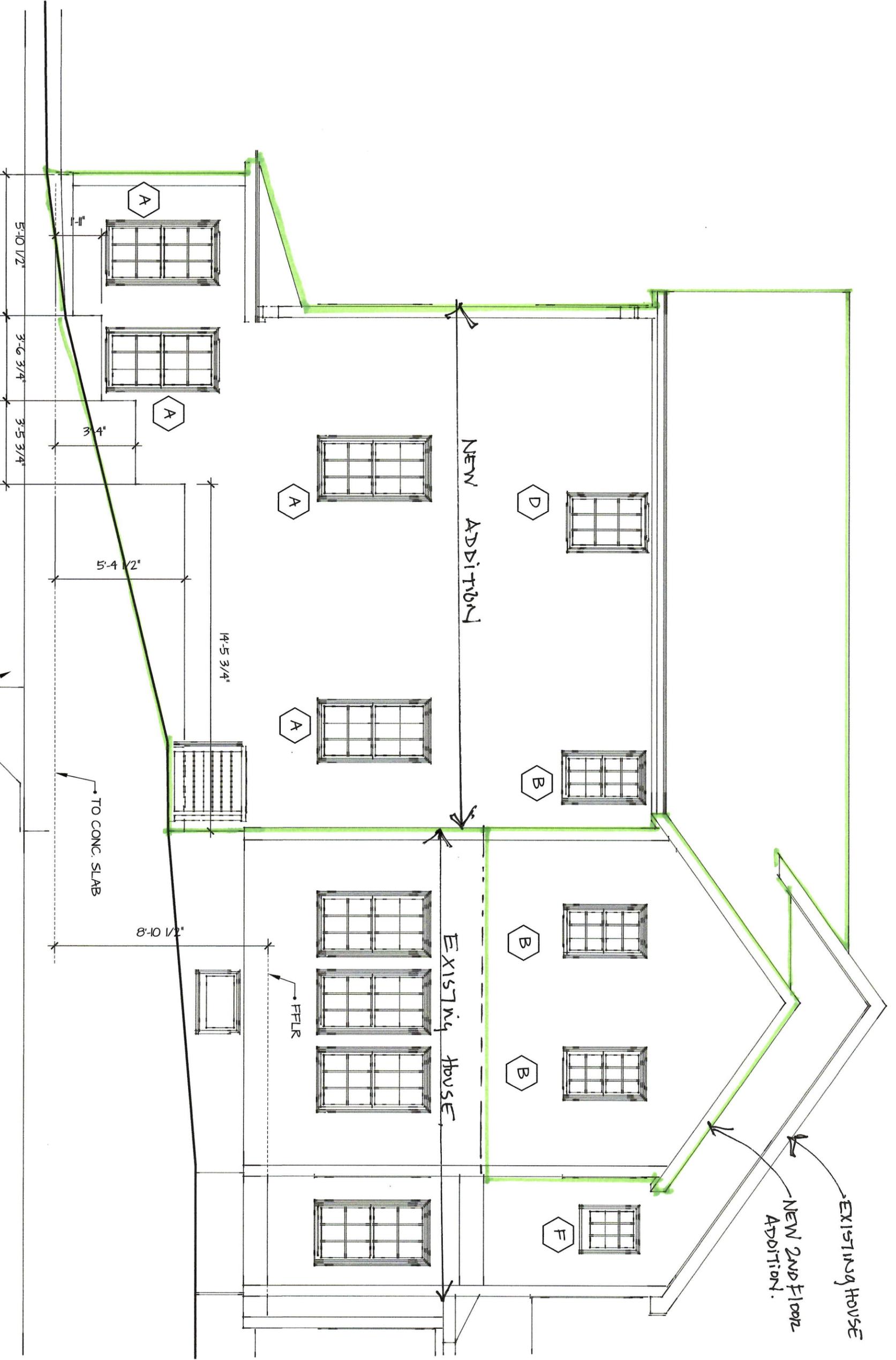
Aquino Residence
77 Woodside Rd.
Winchester, MA 01890

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TO FOOTING
4'-0" MIN BELOW FIN GRADE

STEP FOOTING DOWN
SUCH THAT EXISTING FOUND.
IS NOT UNDERMINED.



NW ELEVATION
LEFT

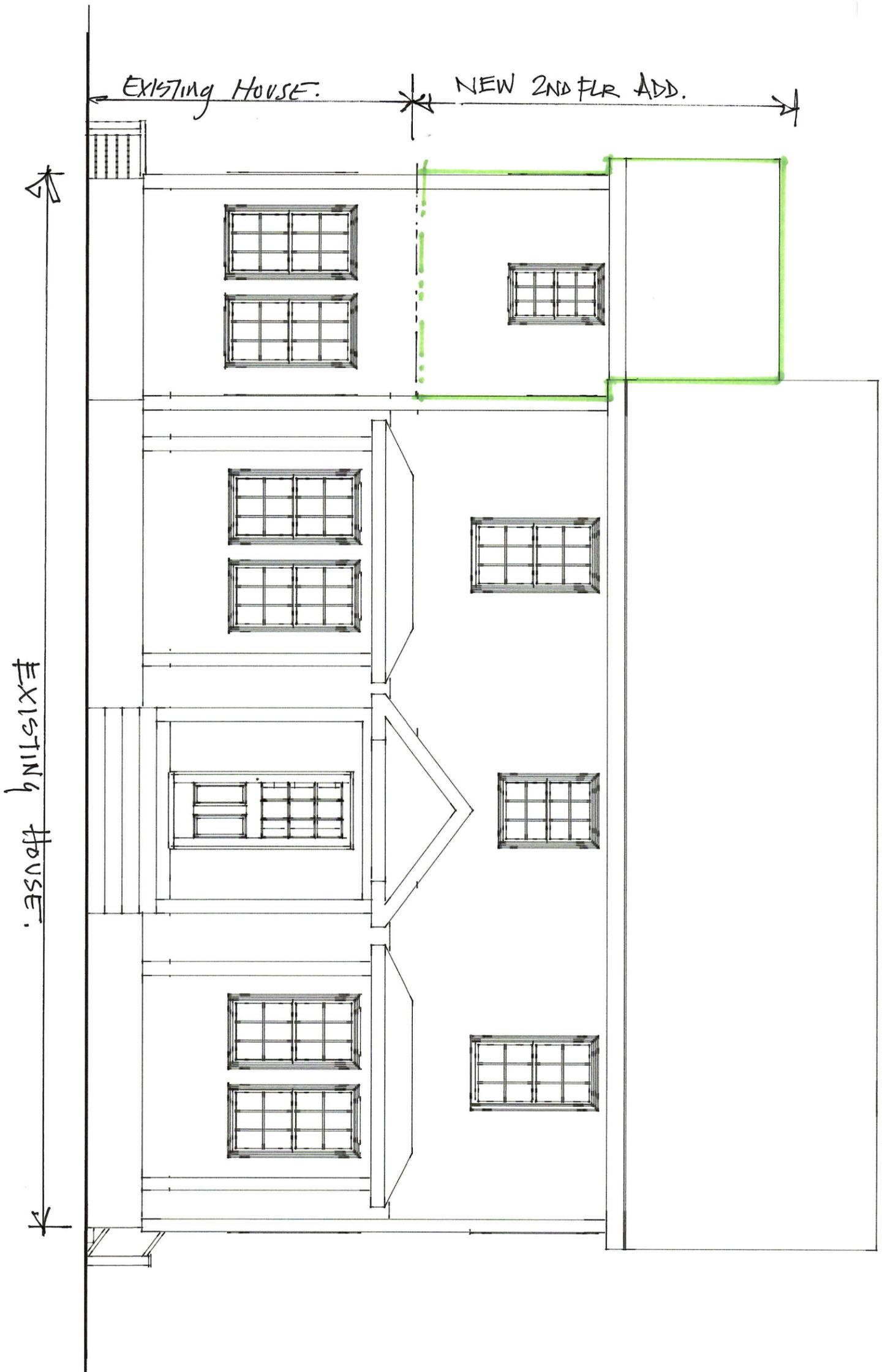
Aquino Residence
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Winchester, MA 01890

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5/25/2020

A-2.3

ZBA



SW ELEVATION
FRONT

Aquino Residence
77 Woodside Rd.
Winchester, MA 01890

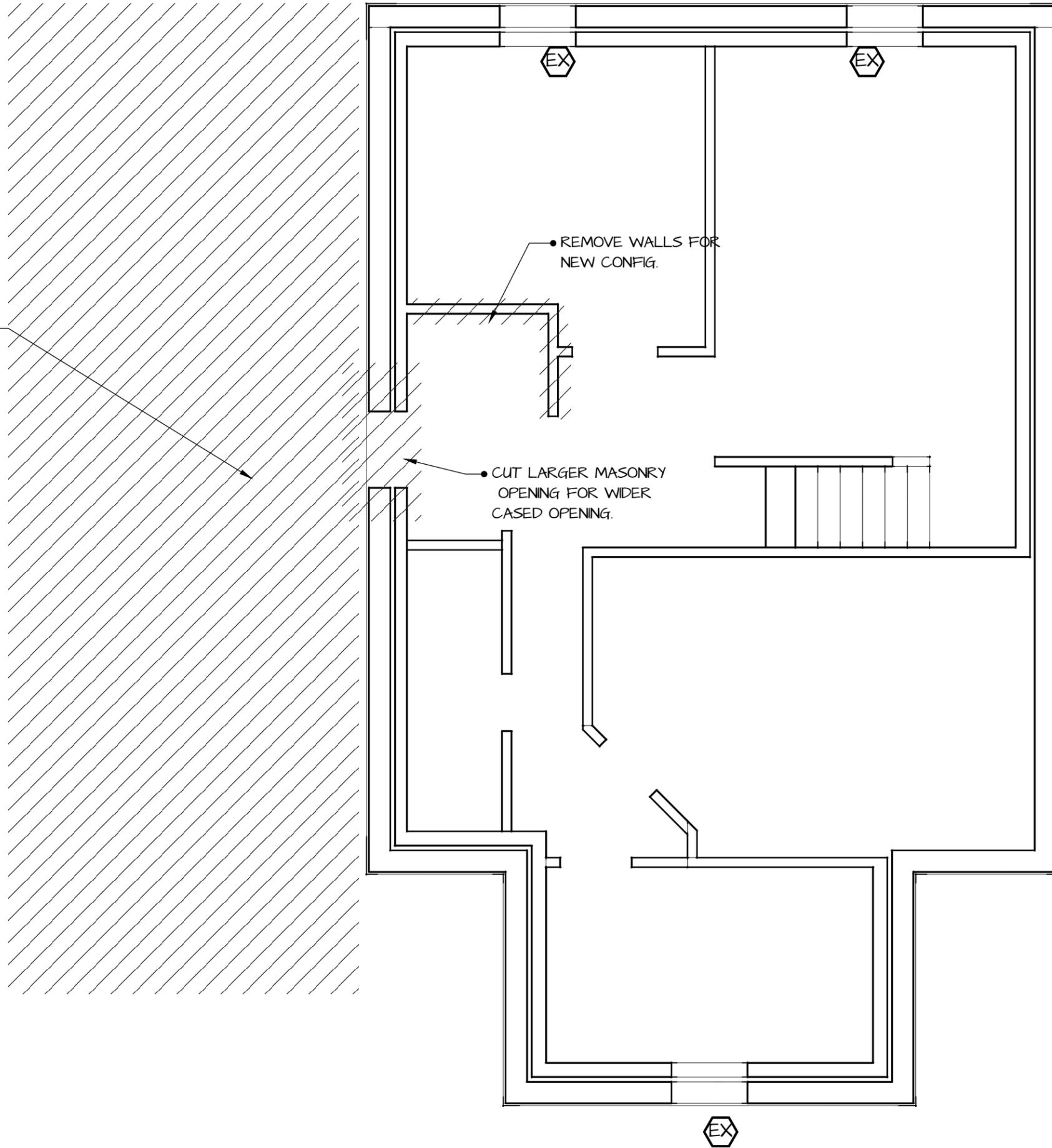
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guydixonarchitect@gmail.com

5/25/2020

ZBA

A-2.4

REMOVE EXISTING DECK AND
SUPPORTING MASONRY



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Aquino Residence
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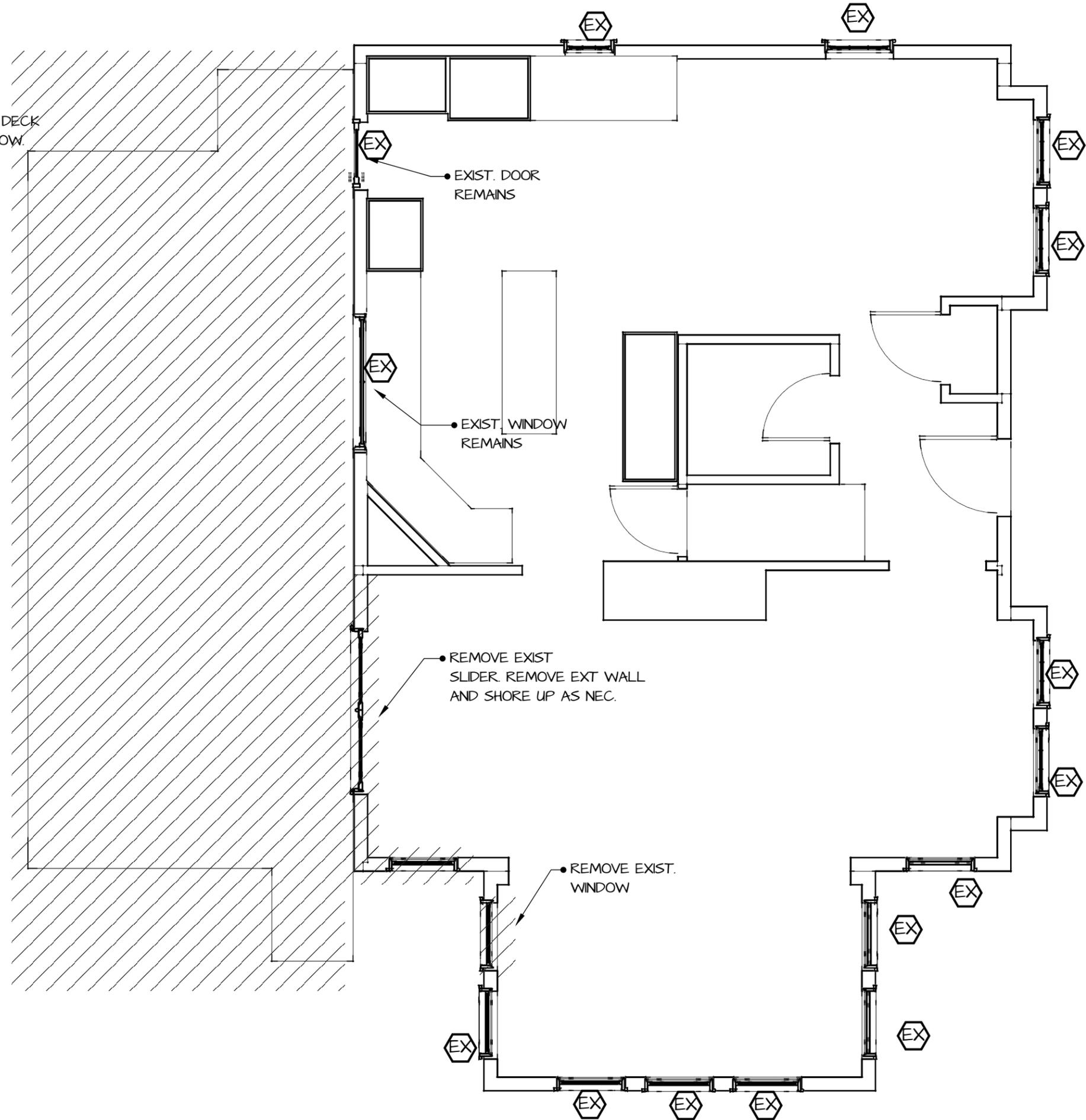
BASEMENT
PARTIAL DEMO

5/26/2020

D-1.0

ZBA

REMOVE EXISTING DECK
AND MASONRY BLOW.



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Aquino Residence
77 Woodside Rd.
Winchester, MA 01890

FIRST FLOOR DEMO/
EXISTING

5/26/2020

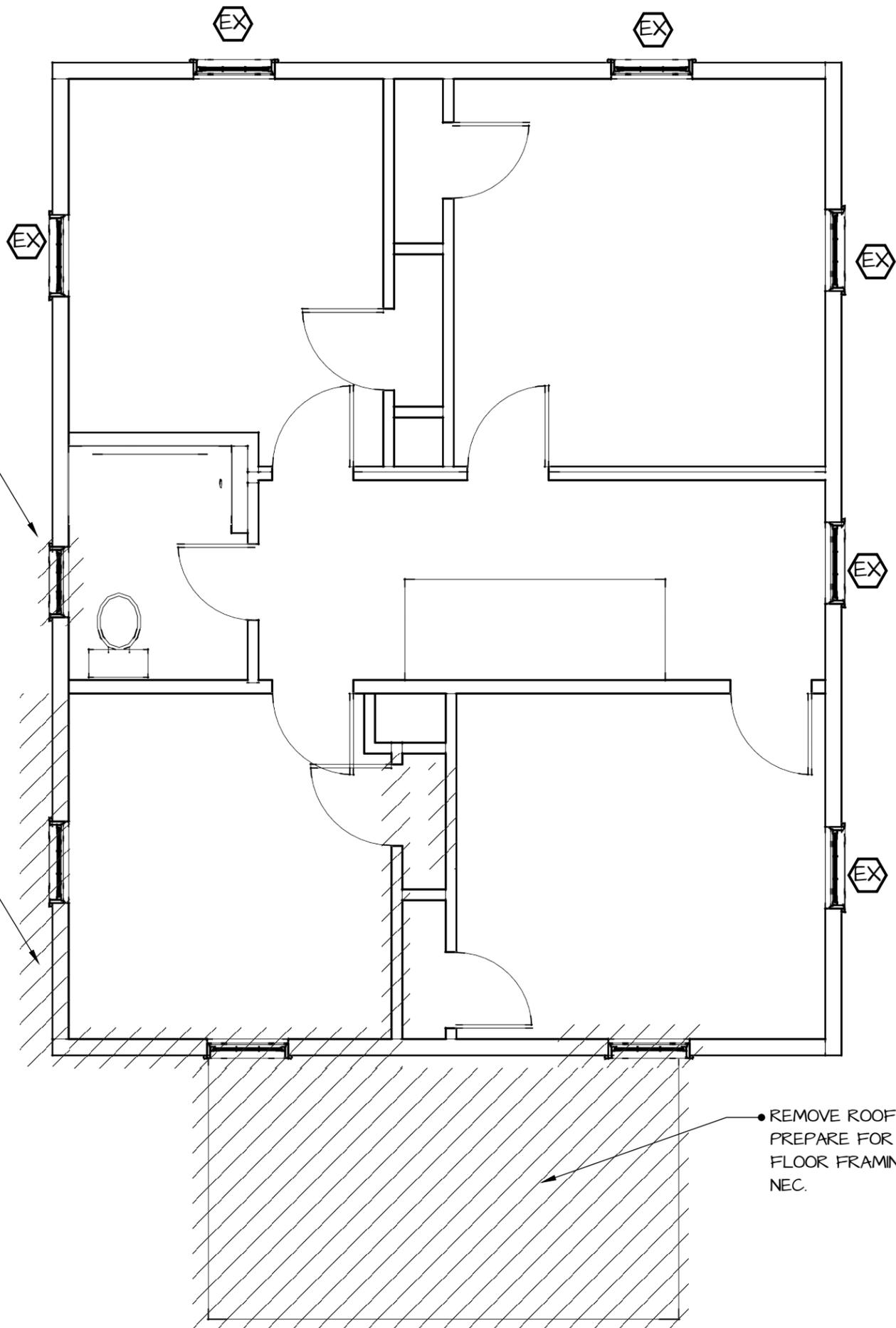
D-1.1

ZBA

REMOVE EXIST WINDOW
PREP OPENING FOR NARROWER
UNIT.

REMOVE PORTION OF EXTERIOR
WALL, SHORE UP AS REQ'D
ONCE NEW ADDITION
IS FRAMED

REMOVE ROOF
PREPARE FOR NEW
FLOOR FRAMING AS
NEC.



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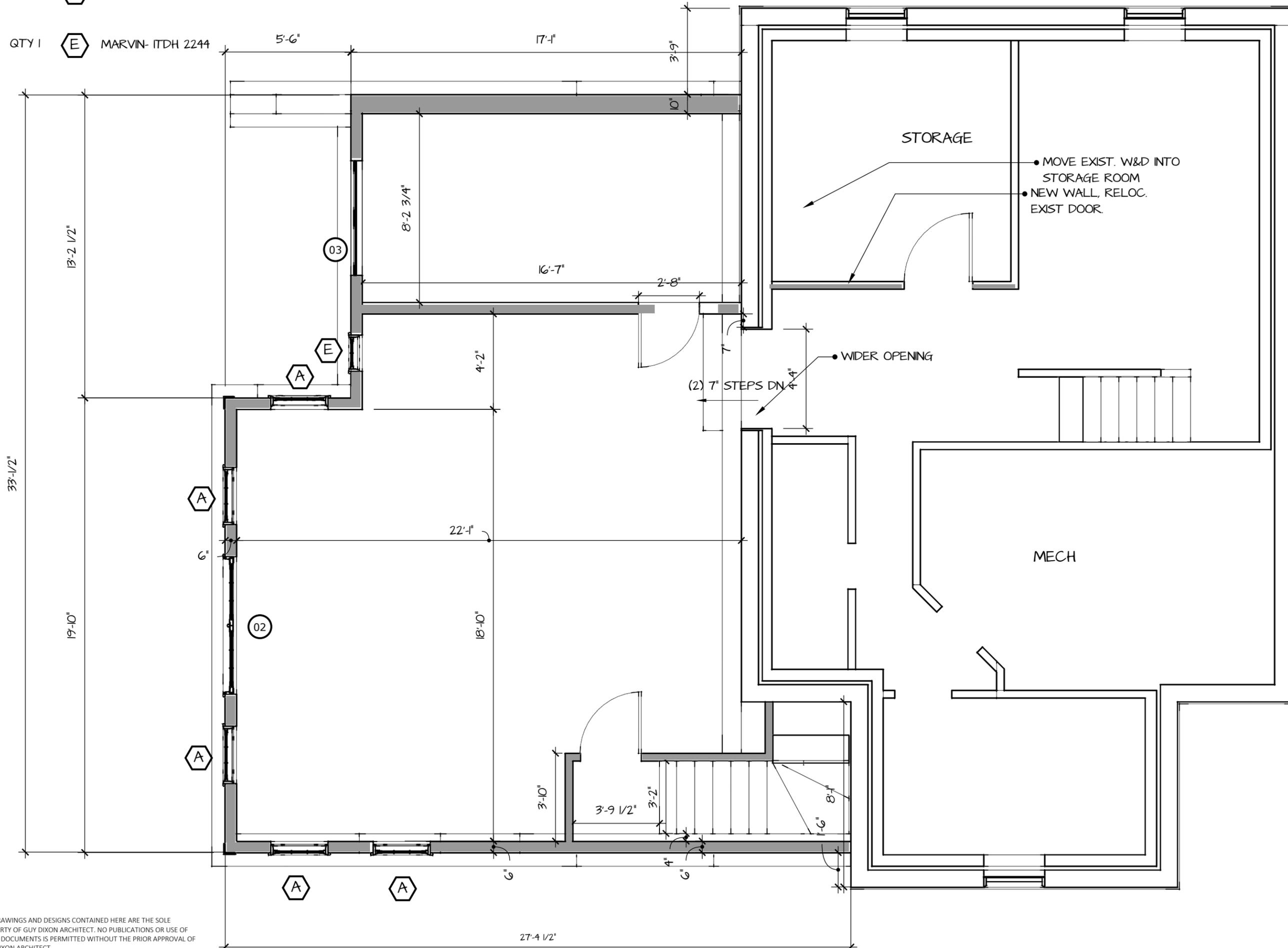
SECOND FLOOR DEMO/
EXISTING

5/26/2020

D-1.2
ZBA

QTY 5 **A** MARVIN- ITDH 3056

QTY 1 **E** MARVIN- ITDH 2244



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 781-218-9489
 guydixonarchitect@gmail.com

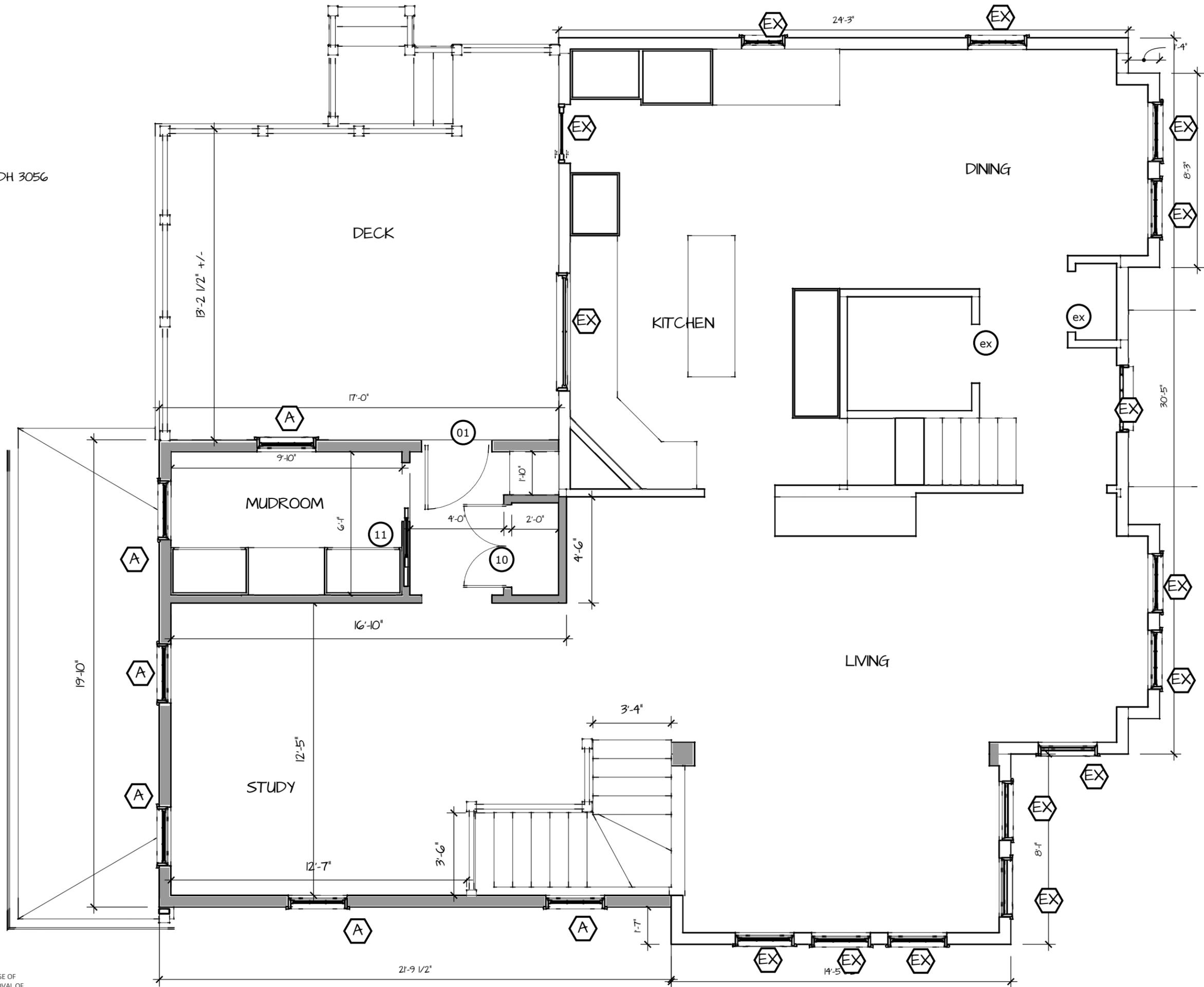
Aquino Residence
 77 Woodside Rd.
 Winchester, MA 01890

BASEMENT

5/26/2020
A-1.0
 ZBA

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QTY 6  MARVIN-ITDH 3056



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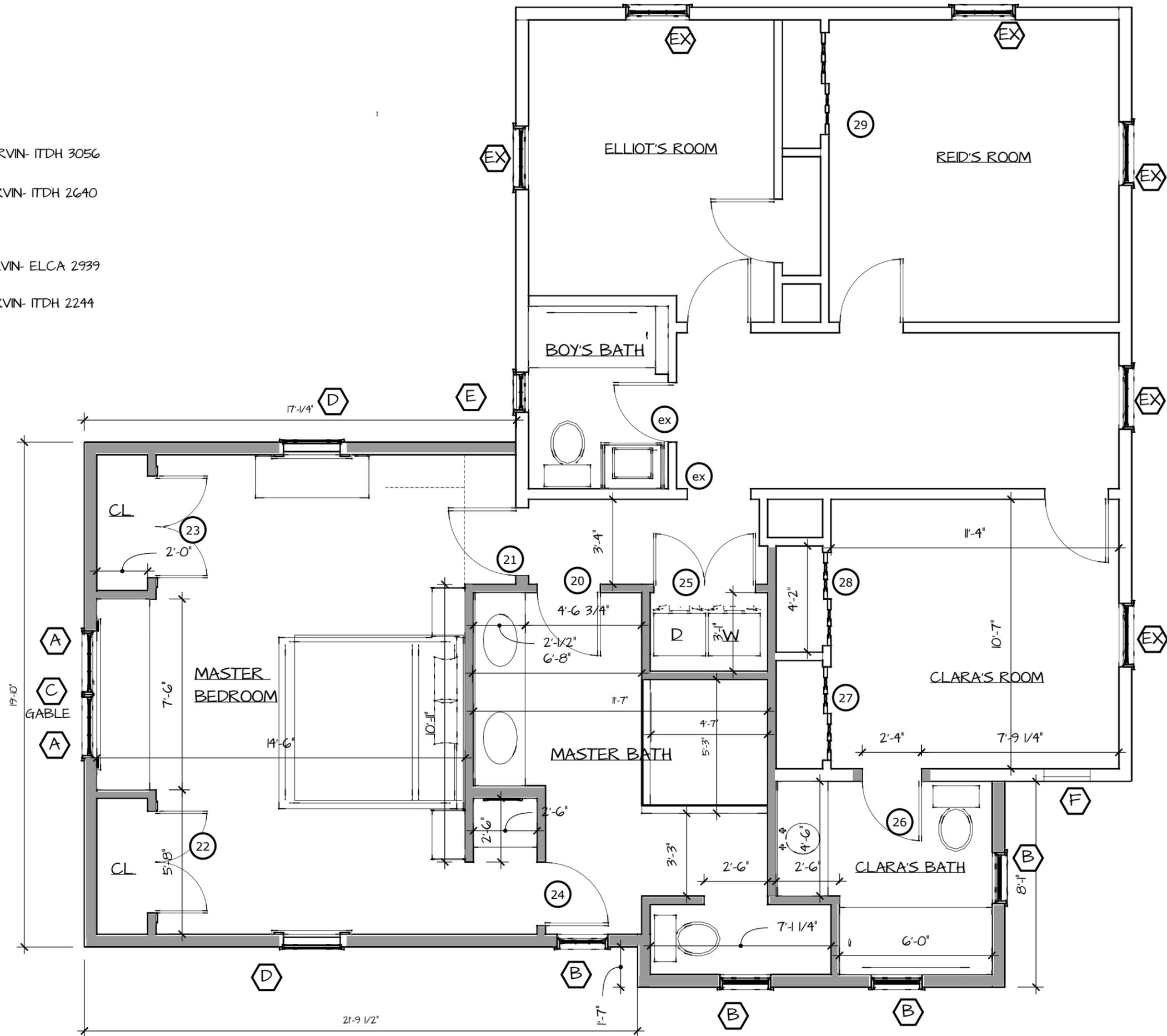
Aquino Residence
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Winchester, MA 01890

FIRST FLOOR

5/26/2020
A-11
ZBA

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- QTY 4 (A) MARVIN- ITDH 3056
- QTY 4 (B) MARVIN- ITDH 2640
- QTY 1 (C)
- QTY 2 (D) MARVIN- ELCA 2939
- QTY 1 (E) MARVIN- ITDH 2244
- QTY 1 (F)



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Aquino Residence
 77 Woodside Rd.
 Winchester, MA 01890

SECOND FLOOR

5/26/2020
 A-1.2
 ZBA

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 guydixonarchitect@gmail.com

Aquino Residence
 77 Woodside Rd.
 Winchester, MA 01890

3D VIEWS
 5/26/2020

A-6.1

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Aquino Residence
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Winchester, MA 01890

3D VIEWS

5/26/2020

A-6.2





GREEN GUARD XPS Type N
• Made with 100% recycled content
• Manufactured with Green Technology
• Complies with California
• Enhanced R-Value
• Superior Performance

Lowe's
GreenGuard XPS

Lowe's

Lowe's







LOWE'S
Lowe's Home Improvement
11000 Kingsport Road
Kingsport, TN 37689
800.445.6900
www.lowes.com

Go to www.kingspaninsulation.us for the most current compliance information.

Home Innovation
Kingspan Insulation
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Kingsport, TN 37689
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BOARD OF APPEALS

NOTICE OF PUBLIC HEARING

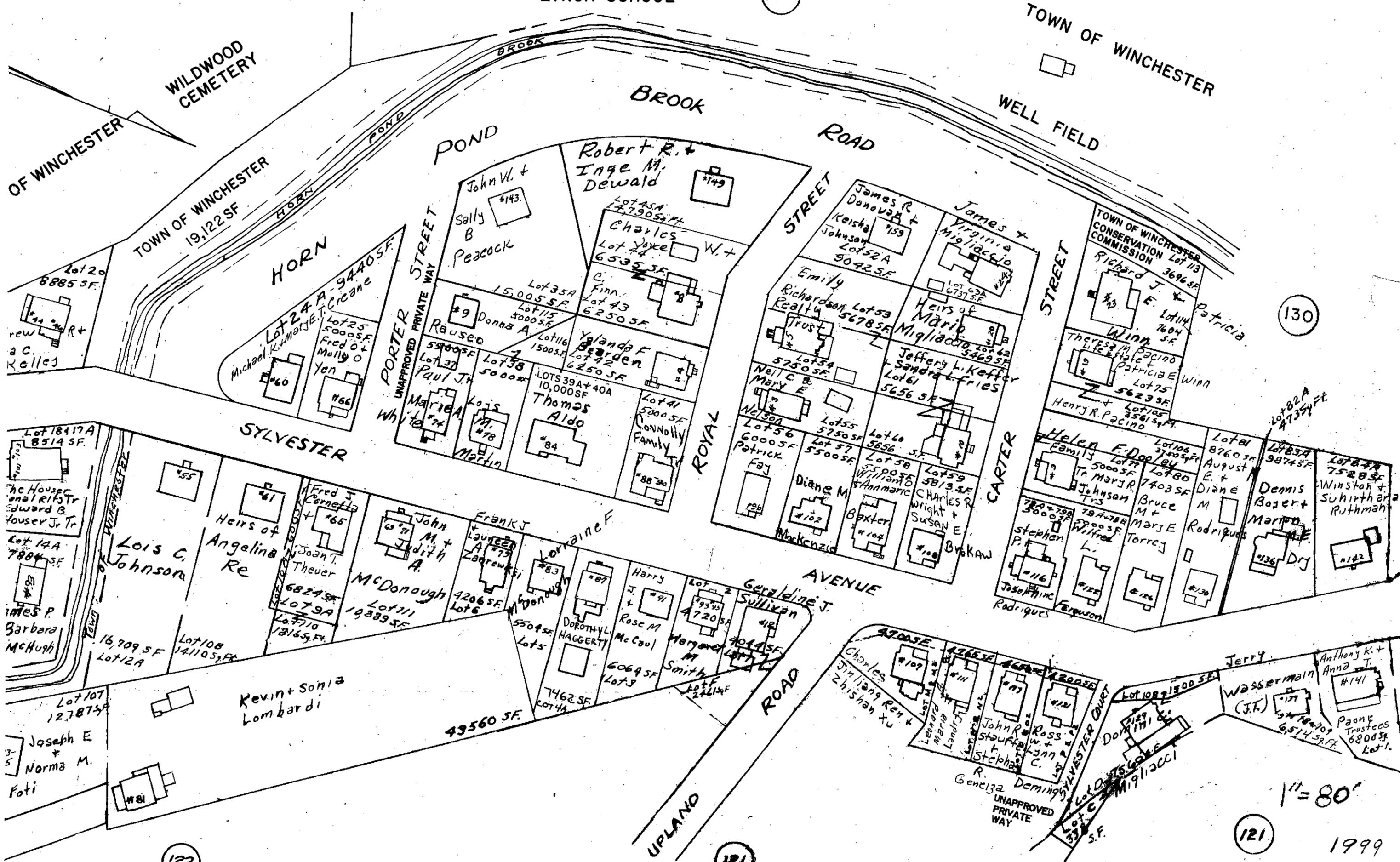
The WINCHESTER BOARD OF APPEALS will hold a REMOTE PARTICIPATION PUBLIC HEARING on THURSDAY, JULY 23, 2020 at 7:00 P.M. on the following matter:

PETITION NO. 3907 - That of ELLEN WILSON concerning the property at 78 SYLVESTER AVENUE, WINCHESTER, MA. The petitioner is seeking a Special Permit under Section 3.5.7 of the Winchester Zoning By-Law in accordance with Chapter 40A, Section 9 of the Massachusetts General Laws so as to be permitted to demolish a pre-existing non-conforming single family dwelling located on a lot which does not meet the lot frontage and lot width requirements and to construct a new single family dwelling that will be located closer to the front and side property lines than permitted as of right. The property is located in the RG (General Residence) zoning district and contains 6,500 square feet.

WINCHESTER BOARD OF APPEALS

Petition may be viewed on the Board of Appeals web page www.winchester.us

Link to the meeting can be found on the Government Calendar and the Board of Appeals web page www.winchester.us



1" = 80'

TOWN OF WINCHESTER
BOARD OF APPEAL
71 MOUNT VERNON STREET
WINCHESTER, MASSACHUSETTS 01890
(781) 721-7115

APPLICATION FOR
ZONING HEARING

FORM 2

Application Date May 19, 2020

The undersigned hereby petitions the Board of Appeals for the following:

- Appeal Variance Special Permit Use Special Permit/Site Plan Review
 Special Permit Sign Special Permit (Pre-existing non-conforming structure) Site Plan Review

Property Address 78 Sylvester Ave. Zoning District RC-6.5

Area of Lot 6500 sf Frontage 50.0 ft.

Street Frontage is Public Way Subdivision Control Way Private Way

Petitioner's Name Ellen Wilson Address 21 Winthrop Street

Name _____ Address _____

Name _____ Address _____

Brief Description of Work: The current 1-story house will be demolished to the foundation. A new 1.5+ story house will be built on this existing foundation (~30' x 24') with a rear portion built on new foundation (~28' x 10'), replacing an existing attachment built over crawl space. A new 1 story covered (but open) front porch (~26' x 7'-2) will replace the existing front porch (~6'-4 x 7'-2).

Applicants for an **Appeal** must complete **Form 2A**

Applicants for a **Variance** must complete **Form 2B**

Applicants for a **Special Permit Use** must complete **Form 2C**

Applicants for a **Special Permit/Site Plan Review or Site Plan Review** must complete **Form 2D**

Applicants for a **Special Permit Sign** must complete **Form 2E**

Applicants for a **Special Permit Pre-existing Nonconforming 1 or 2 Family** must complete **Form 2F**

Applicants for a **Special Permit Pre-existing Non-conforming Other** must complete **Form 2G**

TOWN OF WINCHESTER
BOARD OF APPEAL
71 MOUNT VERNON STREET
WINCHESTER, MASSACHUSETTS 01890
(781) 721-7115

APPLICATION FOR
ZONING HEARING

FORM 2

Application Date _____

The undersigned hereby petitions the Board of Appeals for the following:

- Appeal Variance Special Permit Use Special Permit/Site Plan Review
 Special Permit Sign Special Permit (Pre-existing non-conforming structure) Site Plan Review

Property Address 78 Sylvester Ave. Zoning District RC-6.5

Area of Lot 6500 sf Frontage 50.0 ft.

Street Frontage is Public Way Subdivision Control Way Private Way

Petitioner's Name _____ Address _____

Name _____ Address _____

Name _____ Address _____

Brief Description of Work: The current 1-story house will be demolished to the foundation. A new 1.5+ story house will be built on this existing foundation (~30' x 24') with a rear portion built on new foundation (~28' x 10'), replacing an existing attachment built over crawl space. A new 1 story covered (but open) front porch (~26' x 7'-2) will replace the existing front porch (~6'-4 x 7'-2).

Applicants for an Appeal must complete Form 2A

Applicants for a Variance must complete Form 2B

Applicants for a Special Permit Use must complete Form 2C

Applicants for a Special Permit/Site Plan Review or Site Plan Review must complete Form 2D

Applicants for a Special Permit Sign must complete Form 2E

Applicants for a Special Permit Pre-existing Nonconforming 1 or 2 Family must complete Form 2F

Applicants for a Special Permit Pre-existing Non-conforming Other must complete Form 2G

FORM 2

The undersigned is (✓) the owner of the subject property; or () the holder of a written option to purchase the subject property, or () the holder of a valid lease to the subject property. (Written authorization from the property owner must be submitted with the other application documents when the applicant is not the record owner of the property).

Record title to the subject property stands in the name (s) _____

Ellen Warner Wilson 2018 Trust

Address of owner of record 21 Winthrop St, Winchester

Title Reference:

2539 334

(easement)

(Unregistered land) Middlesex County Registry of Deeds; Book _____, Page _____

(Registered land) Land Court Certificate of Title No. 22376 Book 157, Page 173

Date of Recording: 11/4/1896 (see enclosed)

State briefly what building and structures currently exist on the premises:

A one level "modest ranch" with an attached rear enclosed porch and covered front porch.
Also, in back, two movable vinyl storage sheds.

Attorney, agent, or other representative acting for petitioner:

Name _____ Address _____

Name _____ Address _____

Written evidence of agent's standing to represent petitioner may be requested.

Signed as a statement of fact under the pains and penalties of perjury, this _____ day of <u>Apr. 20</u> , 20 <u>20</u>	
SIGNATURE <u>Ellen Wilson</u> (Petitioner/Agent)	SIGNATURE <u>Ellen Wilson</u> (Property Owner/Agent)
Address <u>21 Winthrop St.</u>	Address <u>21 Winthrop St.</u>
Tel No. <u>781-729-2203</u>	Tel No. <u>781-729-2203</u>
Email address <u>ecw1954@verizon.net</u>	Email address <u>ecw1954@verizon.net</u>

Note: Do not attempt to discuss the merits of your case with any member of the Board of Appeal at any time after filing this application and prior to the hearing thereon.

TOWN OF WINCHESTER
BOARD OF APPEAL
71 MOUNT VERNON STREET
WINCHESTER, MASSACHUSETTS 01890
(781) 721-7115

SUPPORTING STATEMENT
REQUESTED FINDINGS

FORM 2F
SPECIAL PERMIT
(Non-conforming)
(1 and 2 Family)

Petitioner Ellen Wilson seeks a Special Permit

under Section 3.5 of the Winchester Zoning By-Law for the property located at

78 Sylvester Ave. and asks that the Board of Appeal make the following

findings of fact in accordance with the provisions of Section 3.5 and 9.4 of the Winchester

Zoning By-Law and Massachusetts General Laws, Chapter 40A, Section 9.

1. The existing structure is non-conforming as to certain minimum yard set-back(s), *lot area, lot frontage or lot width* as follows:

The lot frontage and lot width is 50.0
The current front porch is 10.4' from front property line.
The house is 17.7' from front property line.
The left (south) side of the house is 9.1' from property line.

2. The evidence that the non-conformity pre-dates the yard set-back, *lot area, lot frontage or lot width* requirement of the Zoning By-Law or was permitted under relief granted by the Board of Appeal is:

The house was built around 1925 according to the real estate listing. The attached subdivision of this neighborhood is dated October 1926.

3. The proposed enlargement or extension of the structure will not be substantially more detrimental to the neighborhood than the existing non-conforming structure because:

Overall, the new house improves the property and neighborhood. The existing "ranch" was sold "as is." The new house is only modestly larger - It is built on the existing foundation (~30' x 24') with the rear portion built on new foundation (~28' x 10') replacing the existing rear attachment. A welcoming front porch (26' x 7'-2") replaces an existing, also nonconforming, front porch. The ridgeline of the house is ~27' from grade.

Winchester Board of Appeals
Form 2F

4. The proposed project will not adversely affect:

(a) Ingress and egress to the property and structures, because:

It remains as is.

(b) Off-street parking and loading areas, because:

It remains as is.

(c) Refuse collection or disposal, because:

It remains as is.

(d) Screening or buffering of neighboring properties, because:

The house is largely built on the existing footprint.

(e) Required yards and other open space, because:

The house is largely built on the existing footprint. The 2' (-) extension to the rear is within all required setbacks.

(f) General compatibility of the structure with adjacent properties and other properties in the district, because:

The front porch is open and welcoming. All proportions remain human-scaled.

NOTE: It is anticipated that many of the above questions may be answered by the submission of plans. (yes! Please see drawings)

The rights authorized by a special permit expire two years from the date the decision is filed with the Town Clerk unless exercised or extended in accordance with the terms of Massachusetts General Laws, Chapter 40A, Section 9.

Date: 5.9.20

SIGNATURE Ellen Wilson
(Petitioner/Agent)

Address 21 Winthrop St.

Tel No. 781.729.2203

Subdivision of Land shown on plan filed with Cert. of Title No. 19,568 South Registry District of Middlesex County Sheet 1

LAND IN WINCHESTER

Scale 40 feet to an inch

Boston Ice Company

OCT. 1926

1A100 N 57-41-28 E



Middlesex South Registry District
FEB 11 1927

Parker Holbrook, Engineer.

See Subdivision Plan

of Lots 73-74

RECEIVED FOR REGISTRATION Book 577 Page 73

at O'CLOCK 1.5 m. N 1.00.

See Subdivision Plan

of Lot 51 and Lot 62

In Book 553 Page 152

Edison Electric

See Subdivision Plan

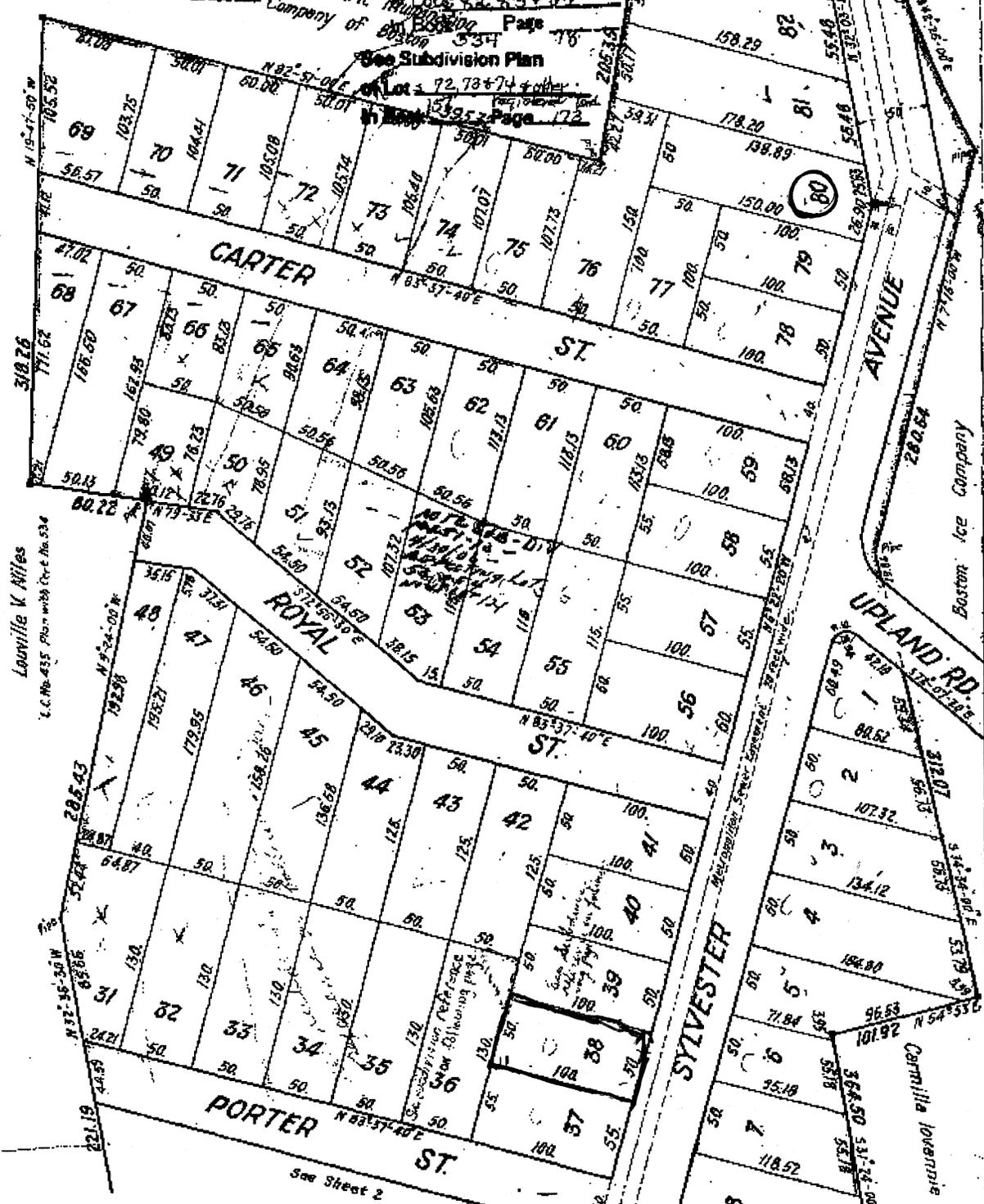
of Lots 82, 83 & 84

in Book 534 Page 76

See Subdivision Plan

of Lot 72, 73 & 74

in Book 535 Page 173



Launville V. Miles
L.C. No. 435 Plan with Cert. No. 534

Separate certificates of title may be issued for lots 1 to 8 inclusive, as shown hereon, and on sheet 2.

Charles DeBretmouth
Recorder.

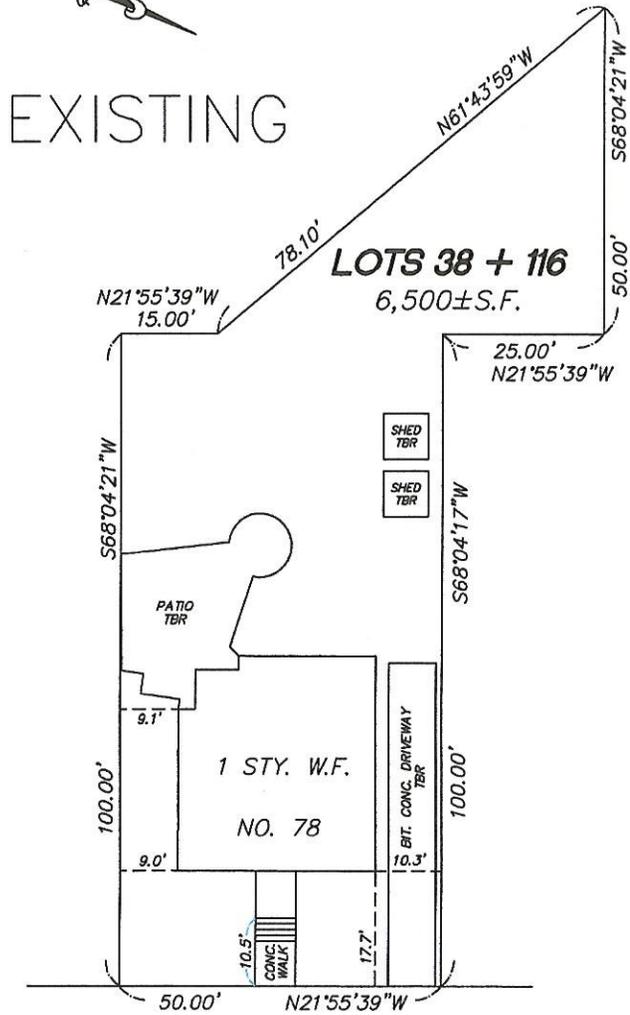
NOV. 16, 1926

Copy of part of plan filed in
LAND REGISTRATION OFFICE
NOV. 6, 1926
Scale of this plan 80 feet to an inch
C. H. ... Engineer for Court of

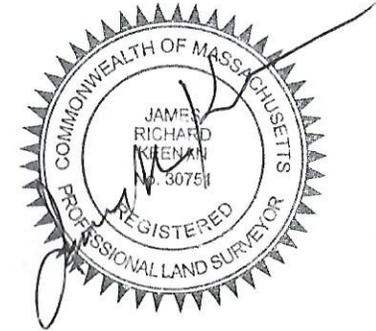
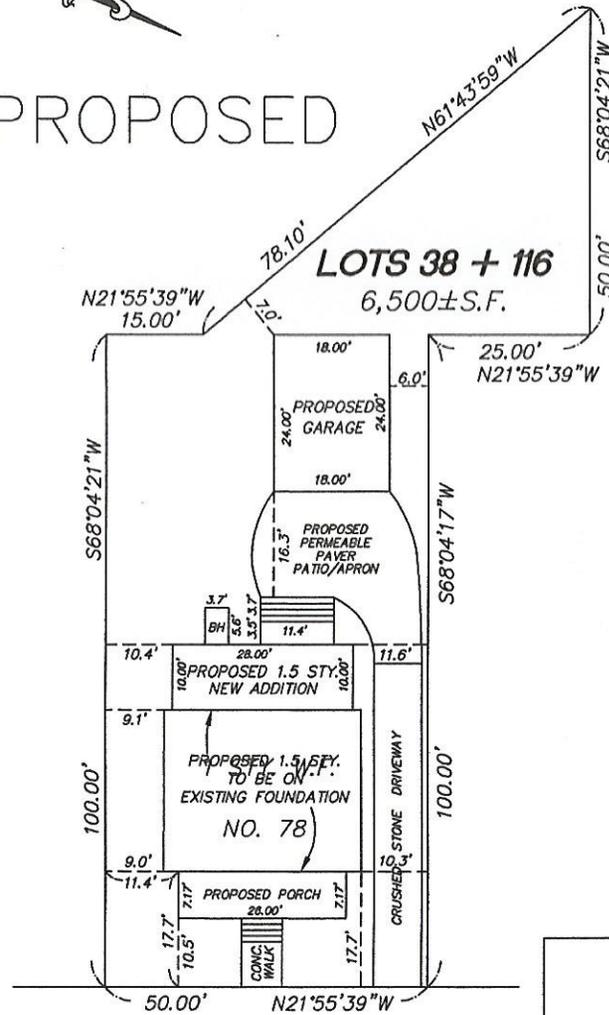
See memorandum on following page

27640
27641

EXISTING



PROPOSED



	EXISTING	PROPOSED
OPEN SPACE	82.5%	OPEN SPACE 72.5%
GREENSPACE	69.3%	GREENSPACE 58.8%
HARDSCAPE	13.2%	HARDSCAPE 13.7%
IMPERVIOUS	30.7%	IMPERVIOUS 28.1%

LEGEND	
STY. W.F.	STORY WOOD FRAME
BIT.	BITUMINOUS
CONC.	CONCRETE
S.F.	SQUARE FEET
TBR	TO BE REMOVED
BH	BULKHEAD

NOTE: THE PROPERTY DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.

I CERTIFY THAT THE BUILDINGS ARE LOCATED AS SHOWN AND THAT THIS PLOT PLAN IS THE RESULT OF AN INSTRUMENT SURVEY.

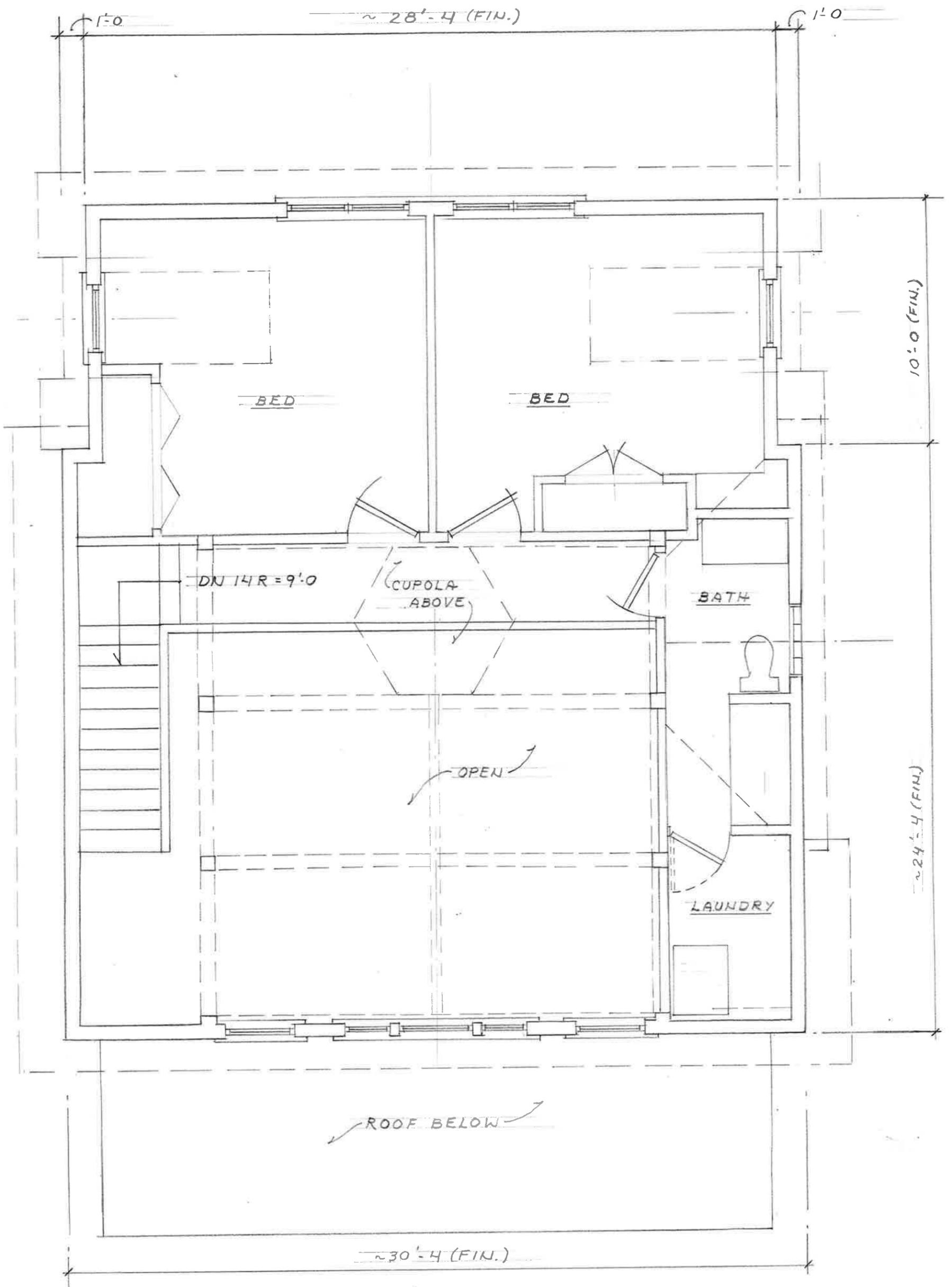
SYLVESTER AVENUE

SYLVESTER AVENUE

PLOT PLAN
IN
WINCHESTER, MASS.

SCALE: 1 IN. = 20 FT. MAY 8, 2020

KEENAN SURVEY
8 WINCHESTER PLACE, SUITE 208
WINCHESTER, MASS. 01890
781-729-4213



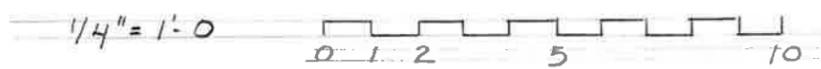
SECOND FLOOR PLAN ~ 615 GSF

1/4" = 1'-0" 0 1 2 5 10'

78 SYLVESTER AVENUE - WINCHESTER, MA
 MAY 2020 J. DEVOL, AIA



STREET ELEVATION (EAST)

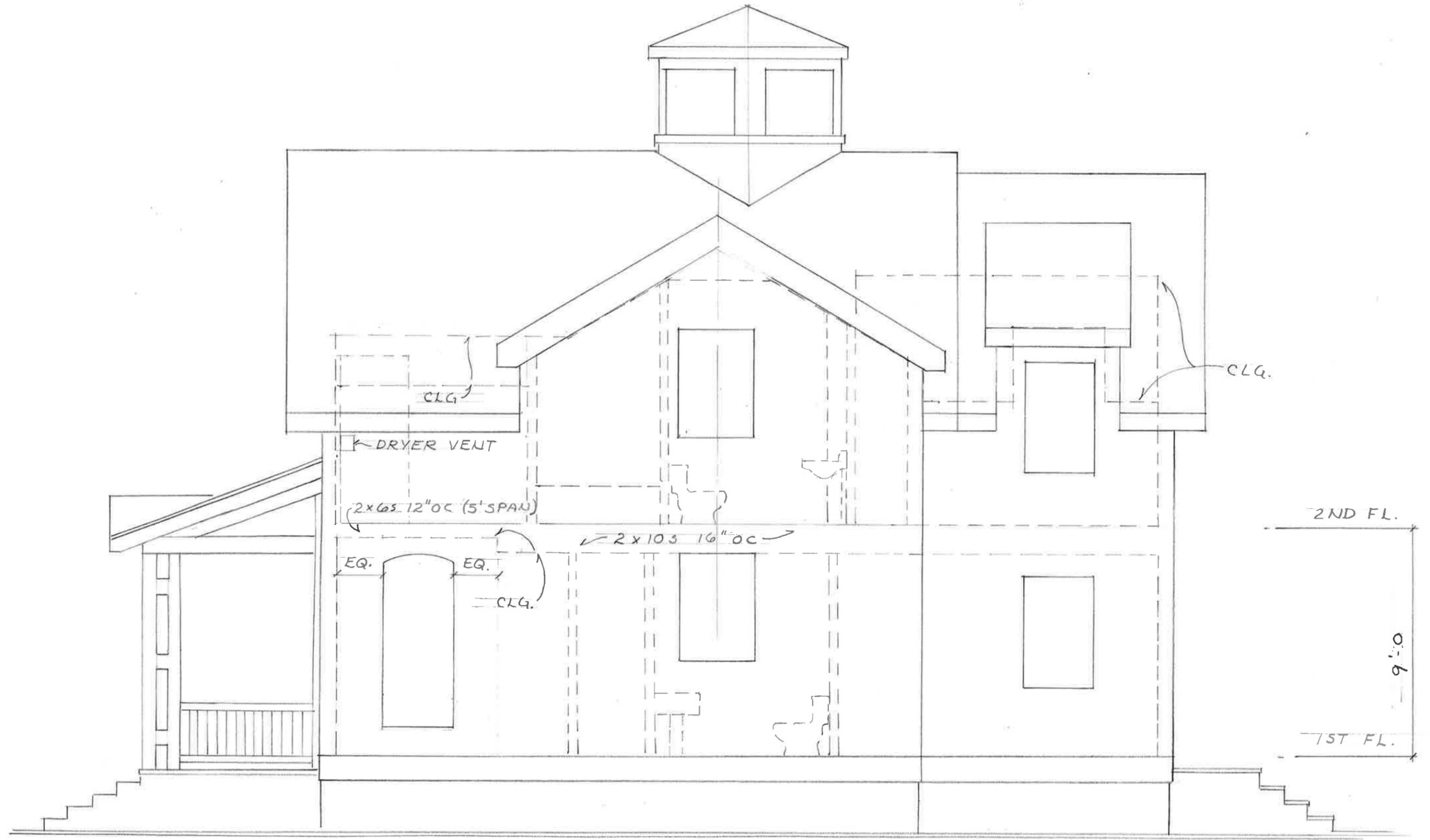


78 SYLVESTER AVENUE - WINCHESTER, MASS.

MAY 2020 J. DEVOL, AIA

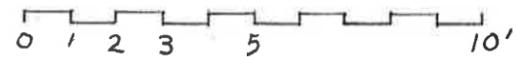
78 SYLVESTER AVENUE - WINCHESTER, MASS.
MAY 2020 J. DEVOL, AIA

A-4



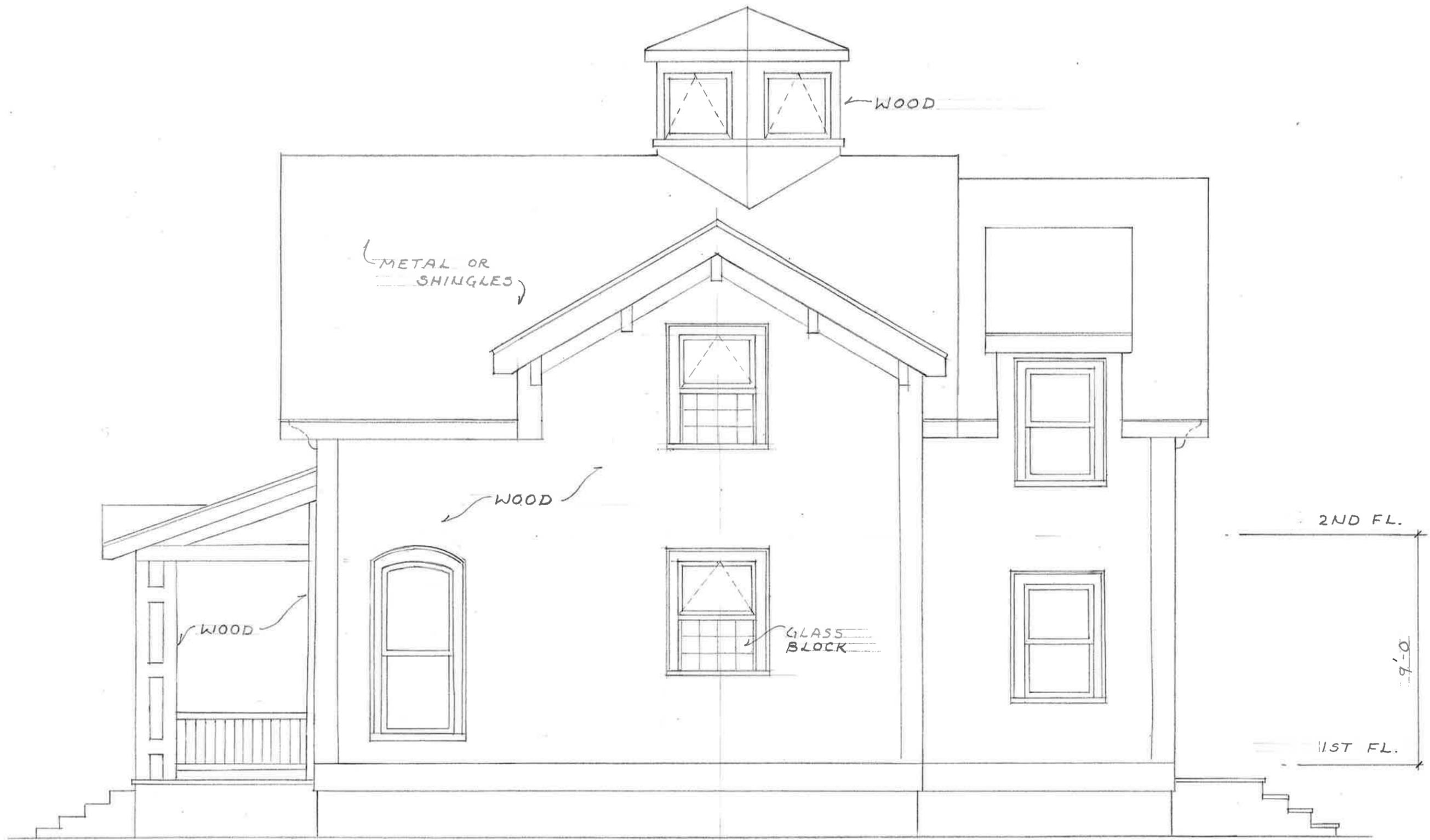
SIDE SECTION-ELEVATION (NORTH)

1/4" = 1'-0"



78 SYLVESTER AVENUE - WINCHESTER, MASS.
MAY 2020 J. DEVOL, AIA

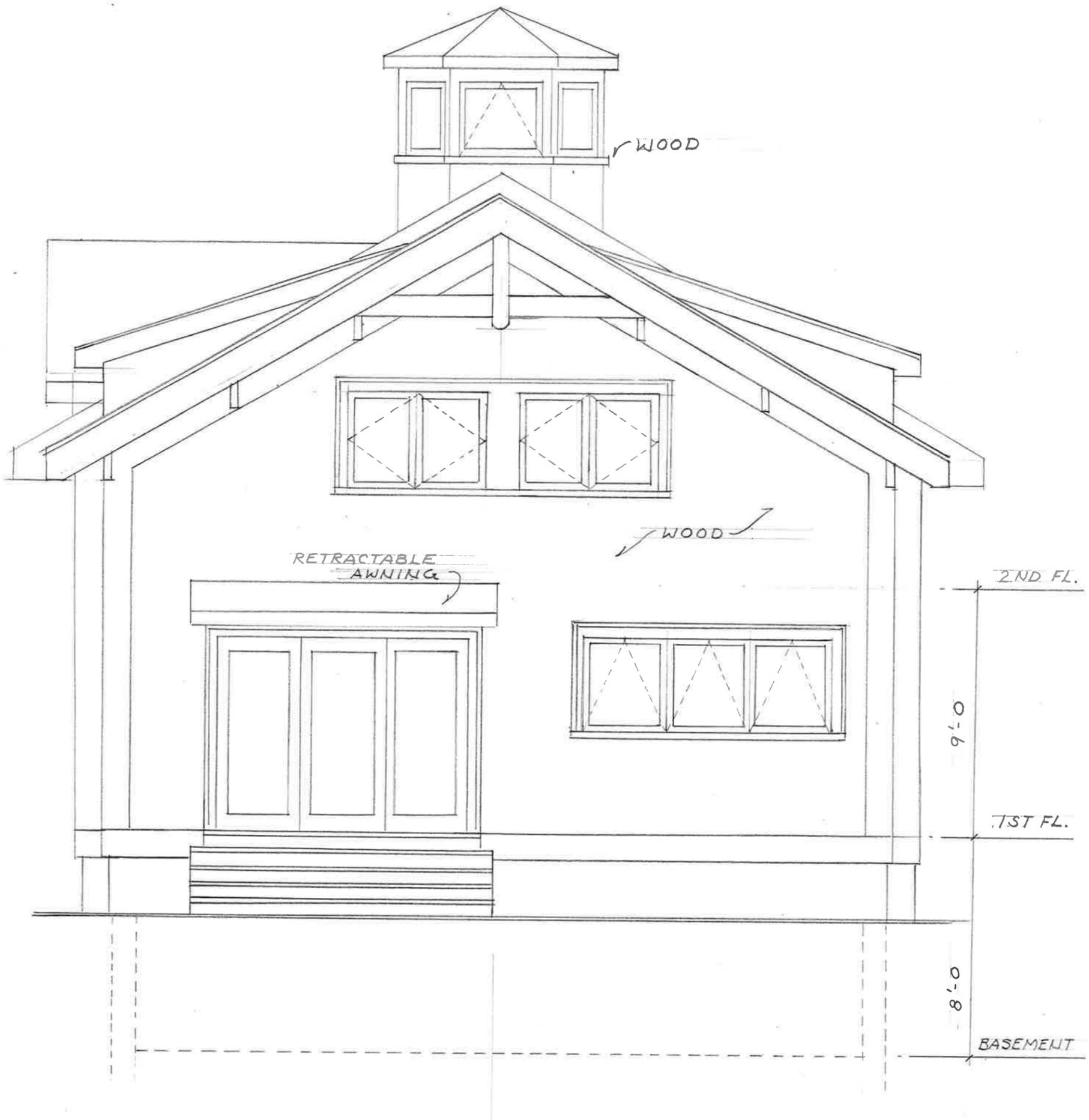
A-5



SIDE ELEVATION (NORTH)

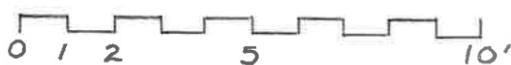
1/4" = 1'-0"





REAR ELEVATION (WEST)

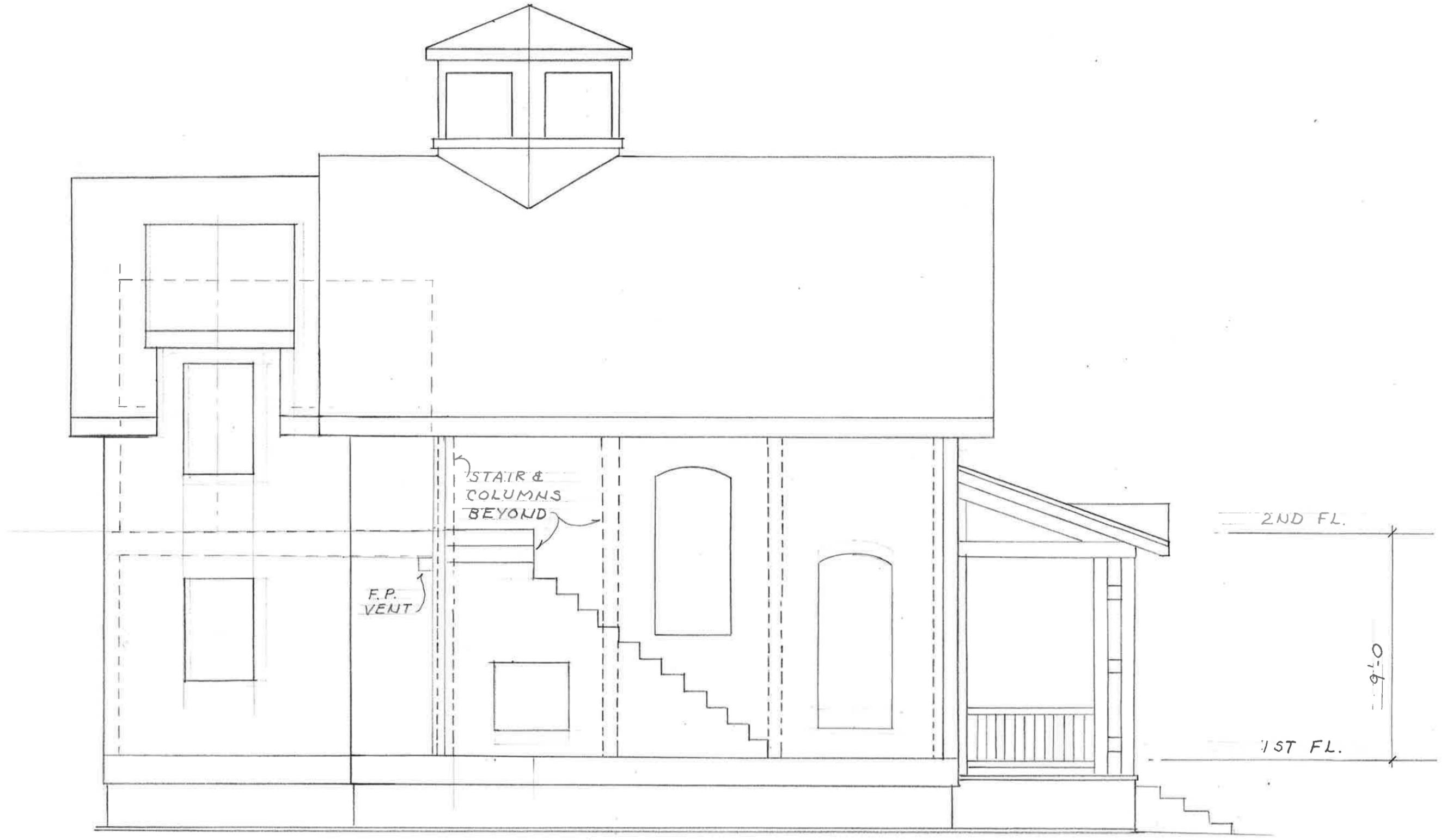
1/4" = 1'-0"



78 SYLVESTER AVENUE - WINCHESTER, MA
 MAY 2020 J. DEVOL, AIA

78 SYLVESTER AVENUE WINCHESTER, MASS.
MAY 2020 J. DEVOL, AIA

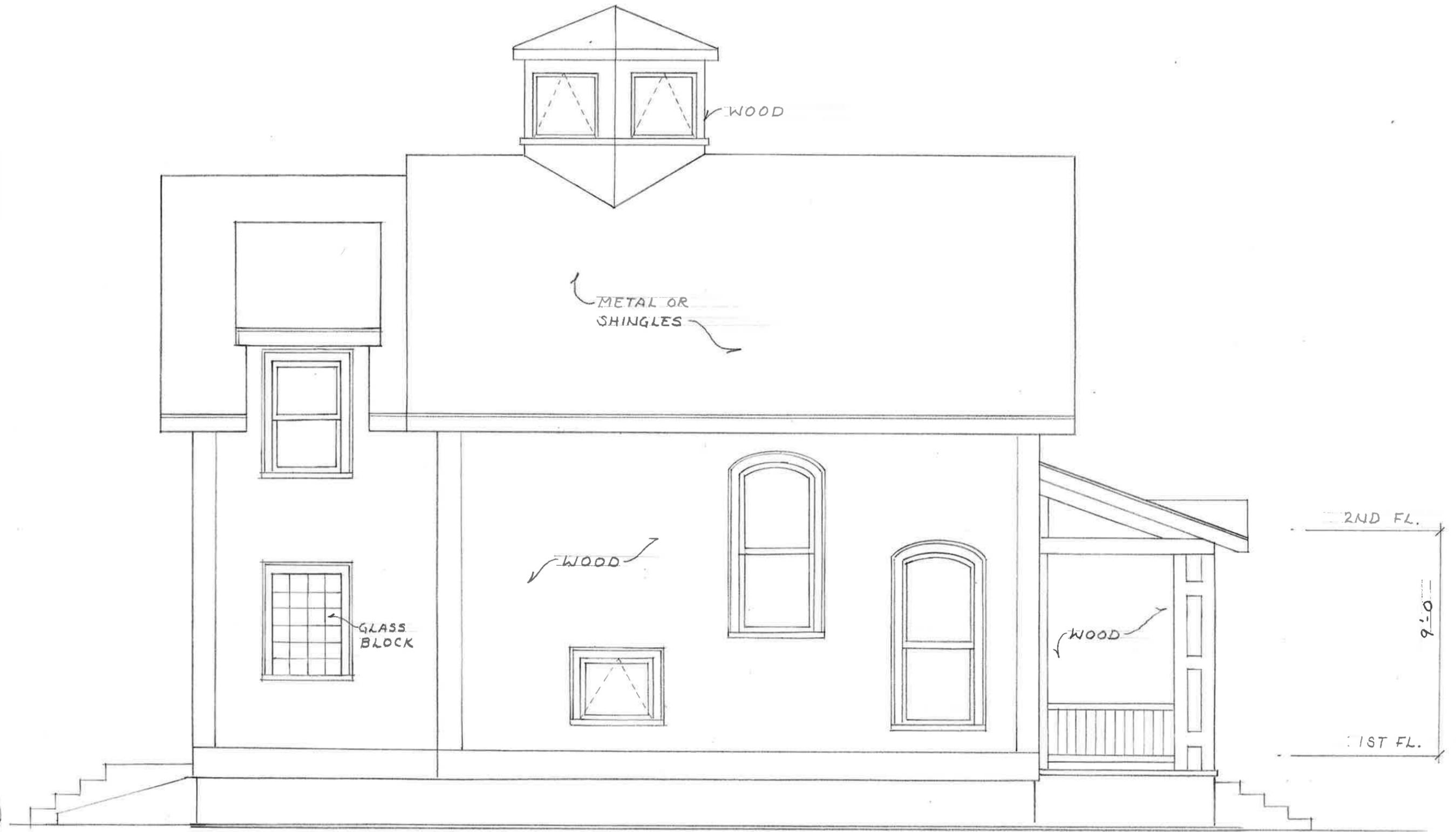
A-7



SIDE SECTION-ELEVATION (SOUTH)
1/4" = 1'-0"
0 1 2 5 10'

78 SYLVESTER AVENUE - WINCHESTER, MASS.
MAY 2020 J. DEVOL, AIA

A-8



SIDE ELEVATION (SOUTH)

1/4" = 1'-0" 0 1 2 5 10

Landscaping Plan for 78 Sylvester Avenue

May 2020

See Plot Plan for overall design.

Front yard: Unchanged generally. The front walk will be centered on the new open front porch with lawn to either side. Existing holly bushes will be transplanted in front of the new porch.

North side yard: The existing asphalt driveway will become a crushed stone driveway.

South side yard: Lawn and flowers.

Back yard: Permeable paver patio and driveway apron will be between the proposed conforming garage and the rear wood or composite steps. The remainder of the back yard will be lawn, garden, and trees.

“I am a do-it-yourself landscaper, and the appearance of additional plantings and a vegetable garden will happen gradually.” – Ellen Wilson

Drainage Plan for 78 Sylvester Avenue

May 2020

The percentage of impervious surface will decrease with the new design, from a current 30.7% to a new 28.1% as noted on the Plot Plan. The yard currently slopes slightly to the southeast, and overall grading will not change. Additionally, the garage will likely be smaller than that shown. If needed, four feet of fill under the garage can be gravel and function as a drywell.



Photos of Existing House at 78 Sylvester Avenue, Winchester, Mass.

April 2020

Top row – front

Middle row – rear

Bottom row – kitchen and living



BOARD OF APPEALS

NOTICE OF PUBLIC HEARING

The WINCHESTER BOARD OF APPEALS will hold a REMOTE PARTICIPATION PUBLIC HEARING on THURSDAY, JULY 23, 2020 at 7:00 P.M. on the following matter:

PETITION NO. 3909 - That of MARK and KATHERINE ANDERSEN by FULTON HARLEY concerning the property at 326 HIGHLAND AVENUE, WINCHESTER, MA. The petitioners are seeking Site Plan Review under Section 9.5.1 of the Winchester Zoning By-Law so as to construct an addition that is less than 500 square feet but where the total floor area of the house and the garage is greater than 5,000 square feet. The property is located in the RDB (Single Residence) zoning district and contains 26,106 +/- square feet.

WINCHESTER BOARD OF APPEAL

Petition may be viewed on the Board of Appeals web page www.winchester.us

Link to the meeting can be found on the Government Calendar and the Board of Appeals web page www.winchester.us

TOWN OF WINCHESTER
 BOARD OF APPEALS
 71 MOUNT VERNON STREET
 WINCHESTER, MASSACHUSETTS 01890
 (781) 721-7115

ZONING APPLICATION
 CHECKLIST

FORM 1
 INSTRUCTIONS

INSTRUCTIONS

Please collect and present the following materials to complete an application to the Board of Appeals. Incomplete filings and forms are not an application and do not begin the process before the Board.

You should present this checklist, the required materials, and the filing fee to the Board of Appeals Clerk at the Building Department. The materials then will be docketed at the Town Clerk's Office.

The Board requires multiple copies (*) to distribute to the Board members and other interested Town bodies. (20 copies for Special Permits, Variance, Appeals and Site Plan Review).

ITEM	REQUIRED	ENCLOSED
Filing Fee \$50.00 (advertising costs are extra & will be billed by newspaper)	✓	✓
*Request for Hearing: Form 2	✓	✓
Supporting Statement – Requested Findings		
*-Appeal (Form 2A)		
*-Variance (Form 2B)		
*-Special Permit Use (Form 2C)		
*Site Plan Review (Form 2D)	✓	✓
*-Special Permit Sign (Form 2E)		
*-Special Permit One & Two Family Non-Conforming (Form 2F)		
*-Special Permit Other Non-conforming (Form 2G)		
*Plot Plan (done by Registered Land Surveyor- to scale, including % of green space and hardscape)	✓	✓
*Building Drawings (Floor plans w/sq. ft., elevations, dimensions, materials)	✓	✓
*Sign Drawings and Schematics		
*Assessor's Map (Engineering Department)	✓	✓
*Landscaping Plans (size, species and spacing. Include before and after for Site Plan Approval)	✓	✓
*Drainage Plans (with O & M for Site Plan Approval)	✓	✓
Photographs	✓	✓
CD or PDF of complete package submitted (jmarella@winchester.us)	✓	✓

Note: All plans submitted should contain a title box and be legible.

FORM 2

The undersigned is () the owner of the subject property; or () the holder of a written option to purchase the subject property, or () the holder of a valid lease to the subject property. (Written authorization from the property owner must be submitted with the other application documents when the applicant is not the record owner of the property).

Record title to the subject property stands in the name (s) MARK AND KATHERINE
ANDERSEN

Address of owner of record 326 HIGHLAND AVENUE
WINCHESTER MA, 01890

Title Reference:

(Unregistered land) Middlesex County Registry of Deeds; Book 74288 , Page 474

(Registered land) Land Court Certificate of Title No. _____ Book _____, Page _____

Date of Recording: 3-13-20

State briefly what building and structures currently exist on the premises:

THE EXISTING STRUCTURE IS A 2.5 STORY, SINGLE FAMILY
RESIDENCE.

Attorney, agent, or other representative acting for petitioner:

Name FULTON L. HARLEY Address 15 HIGH STREET, WINCHESTER

Name _____ Address _____

Written evidence of agent's standing to represent petitioner may be requested.

Signed as a statement of fact under the pains and penalties of perjury, this <u>15TH</u> day of <u>MAY</u> , 20 <u>20</u> .	
SIGNATURE <u>[Signature]</u> (Petitioner/Agent)	SIGNATURE <u>[Signature]</u> (Property Owner/Agent)
Address <u>15 HIGH STREET</u>	Address <u>326 HIGHLAND AVENUE</u>
Tel No. <u>617-803-4919</u>	Tel No. <u>551-580-6086</u>
Email address <u>flharley@flharchitects.com</u>	Email address <u>markjandersen@gmail.com</u>

Note: Do not attempt to discuss the merits of your case with any member of the Board of Appeals at any time after filing this application and prior to the hearing thereon.



Town of Winchester

MIDDLESEX COUNTY, MASSACHUSETTS

TOWN HALL
71 MOUNT VERNON STREET
WINCHESTER, MASSACHUSETTS 01890
(617) 721-7115

BOARD OF APPEALS

Date: _____

To the Board of Appeal of the Town of Winchester:

The undersigned hereby petitions the Board of Appeal for the relief specified below.

Property Location 326 HIGHLAND AVENUE Lot # _____

Zoning District: RDB Area of Lot: 26106 Frontage: 129.07 FT

Street Frontage is: (X) Public Way () Subdivision Control Way () Private Way

Owner of Record: MARK AND KATHERINE ANDERSEN

Mailing Address: 326 HIGHLAND AVENUE Tel. 551-580-6086

Date Deed Recorded: 3-13-20 (Complete Deed Reference Below)

Middlesex South Registry of Deeds: Book 74288 Page 474

Middlesex South Registry District of the Land Court as Cert. of Title No. _____

Present Use: SINGLE FAMILY RESIDENCE

Proposed Use: SINGLE FAMILY RESIDENCE

Relief Desired:

- () Appeal (MGL Chp. 40A, Sect. 8), attach copy of decision or order being appealed.
- () Special Permit in accordance with Zoning By-Law Sect. _____
- (X) Special Permit/Site Plan Review in accordance with Zoning By-Law Sect. _____
- () Dimensional Variance (MGL chp. 40A, Sect. 10) from Zoning By-Law Sect. _____
- () Sign Permit under Chp. 9 of the General By-Laws of the Town of Winchester

Describe change, extension, alterations or modifications, etc. requested.

THE PROJECT IS A 2 STORY ADDITION, WITH A NET INCREASE OF
488 SQFT.

Petitioner: MARK ANDERSEN Signature: *Mark Andersen*

Mailing Address: 326 HIGHLAND AVENUE Tel. 551-580-6086

Petitioner is: (X) Owner () Tenant () Licensee () Binding Optionee

Petition must be fully completed, typewritten or plainly printed in ink.

TOWN OF WINCHESTER
BOARD OF APPEALS
71 MOUNT VERNON STREET
WINCHESTER, MASSACHUSETTS 01890
(781) 721-7115

APPLICATION FOR
ZONING HEARING

FORM 2

Application Date _____

The undersigned hereby petitions the Board of Appeals for the following:

- Appeal Variance Special Permit Use Special Permit/Site Plan Review
 Special Permit Sign Special Permit (Pre-existing non-conforming structure) *Site Plan Review*

Property Address 326 HIGHLAND AVENUE Zoning District RDB

Area of Lot 26106 Frontage 129.07 FT Year Built 1903

Street Frontage is Public Way Subdivision Control Way Private Way

Petitioner's Name MARK ANDERSEN Address 326 HIGHLAND AVENUE

Name KATHERINE ANDERSEN Address 326 HIGHLAND AVENUE

Name FULTON HARLEY Address 15 HIGH STREET

Brief Description of Work:

THE PROJECT IS A 2 STORY ADDITION, WITH A NET INCREASE OF
488 SQFT.

Applicants for an Appeal must complete Form 2A

Applicants for a Variance must complete Form 2B

Applicants for a Special Permit Use must complete Form 2C

Applicants for a Special Permit/Site Plan Review or Site Plan Review must complete Form 2D

Applicants for a Special Permit Sign must complete Form 2E

Applicants for a Special Permit Pre-existing Nonconforming 1 or 2 Family must complete Form 2F

Applicants for a Special Permit Pre-existing Non-conforming Other must complete Form 2G

ROOFING:
ARCHITECTURAL SHINGLES- TO MATCH EXISTING

SIDING:
CEDAR SHINGLES- EXPOSURE TO MATCH EXISTING

WINDOWS:
MARVIN SIGNATURE ULTIMATE WINDOWS, 3/4" SDLS
WITH SPACER BARS.

FOUNDATION:
POURED CONCRETE

EXTERIOR TRIM:
PVC TRIM- TO PAINT

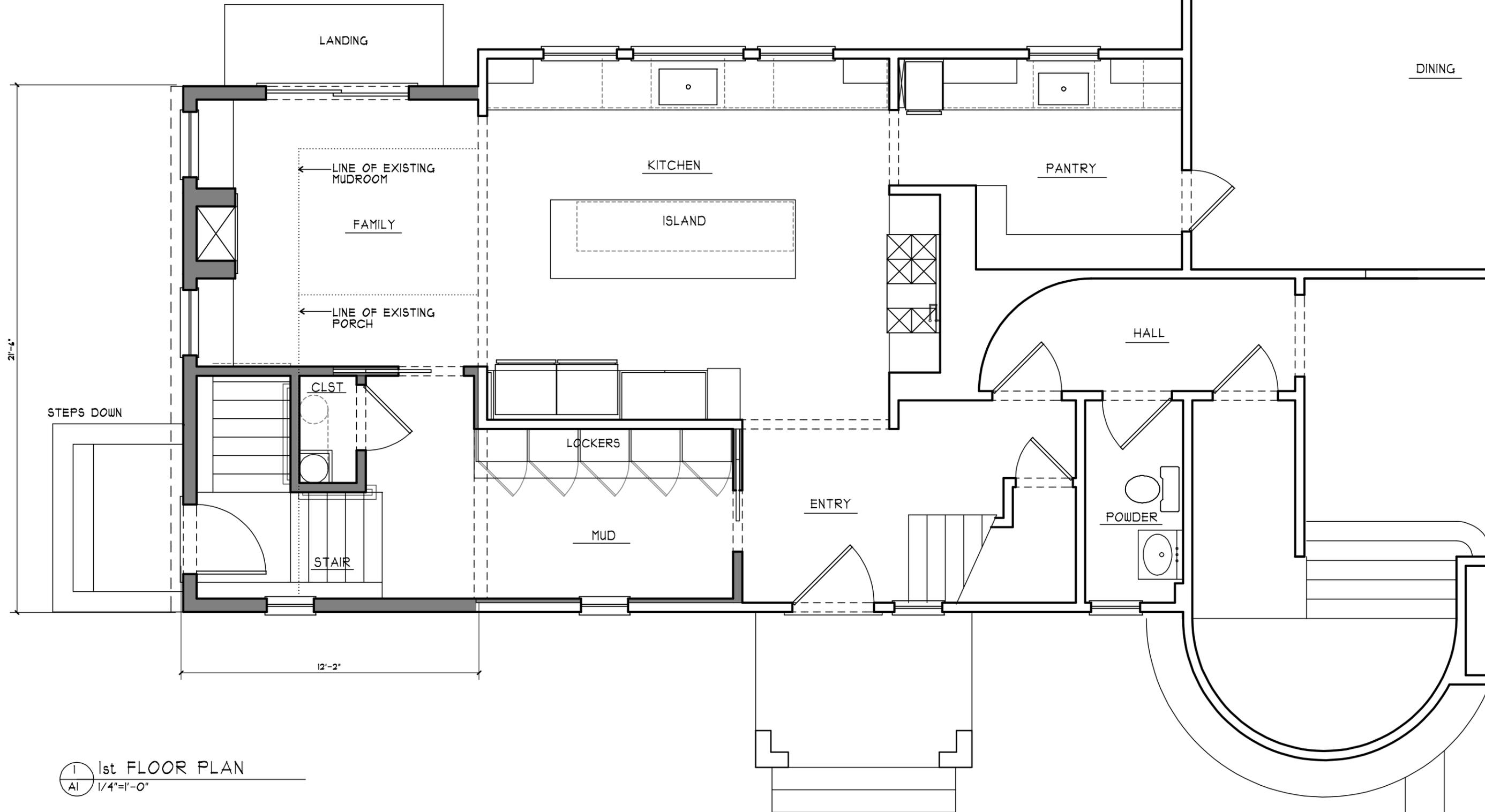
RAFTER TAILS:
COMPOSITE

BRACKETS:
CEDAR BY PROWOOD MARKET

LEVEL	EXISTING	PROPOSED	TOTAL
1ST FLOOR	2138	216	2354
2ND FLOOR	2129	272	2401
ATTIC	1044		440
GARAGE	471		471
TOTAL	5182	488	6270

MATERIALS

AREA TOTALS (SQFT)



1 1st FLOOR PLAN
AI 1/4"=1'-0"

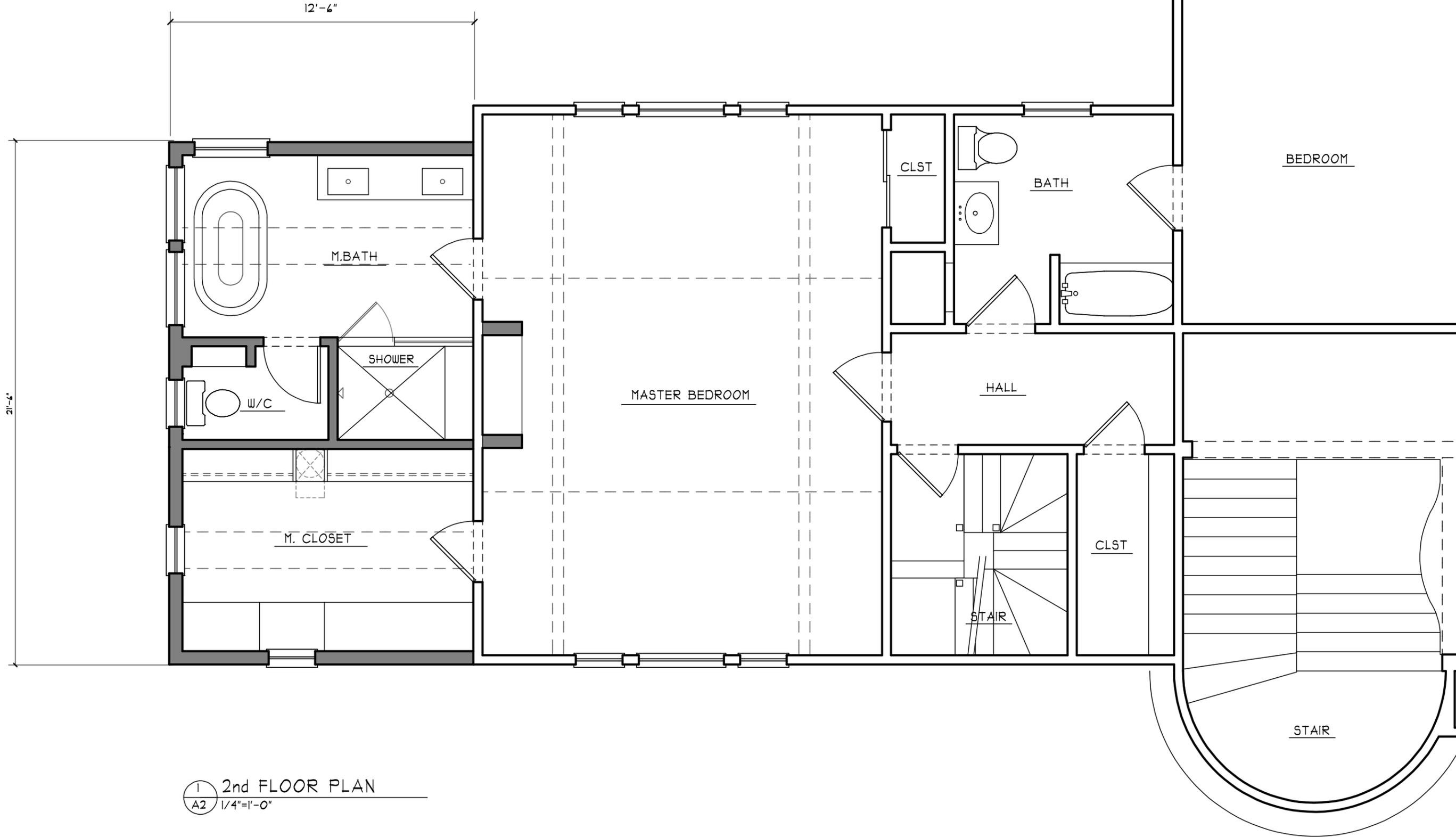
RENOVATIONS TO 326 HIGHLAND AVE, WINCHESTER MA
SITE PLAN REVIEW
FLH ARCHITECTS

617-803-4919

15 HIGH STREET, WINCHESTER MA

7-18-19

A1



1 2nd FLOOR PLAN
 A2 1/4"=1'-0"

RENOVATIONS TO 326 HIGHLAND AVE, WINCHESTER MA
 SITE PLAN REVIEW

15 HIGH STREET, WINCHESTER MA

617-803-4919

7-18-19

A2

FLH ARCHITECTS



1 NORTH ELEVATION
 A3 1/4"=1'-0"

7-18-19

RENOVATIONS TO 326 HIGHLAND AVE, WINCHESTER MA
 SITE PLAN REVIEW
 FLH ARCHITECTS

15 HIGH STREET, WINCHESTER MA
 617-803-4919

A3

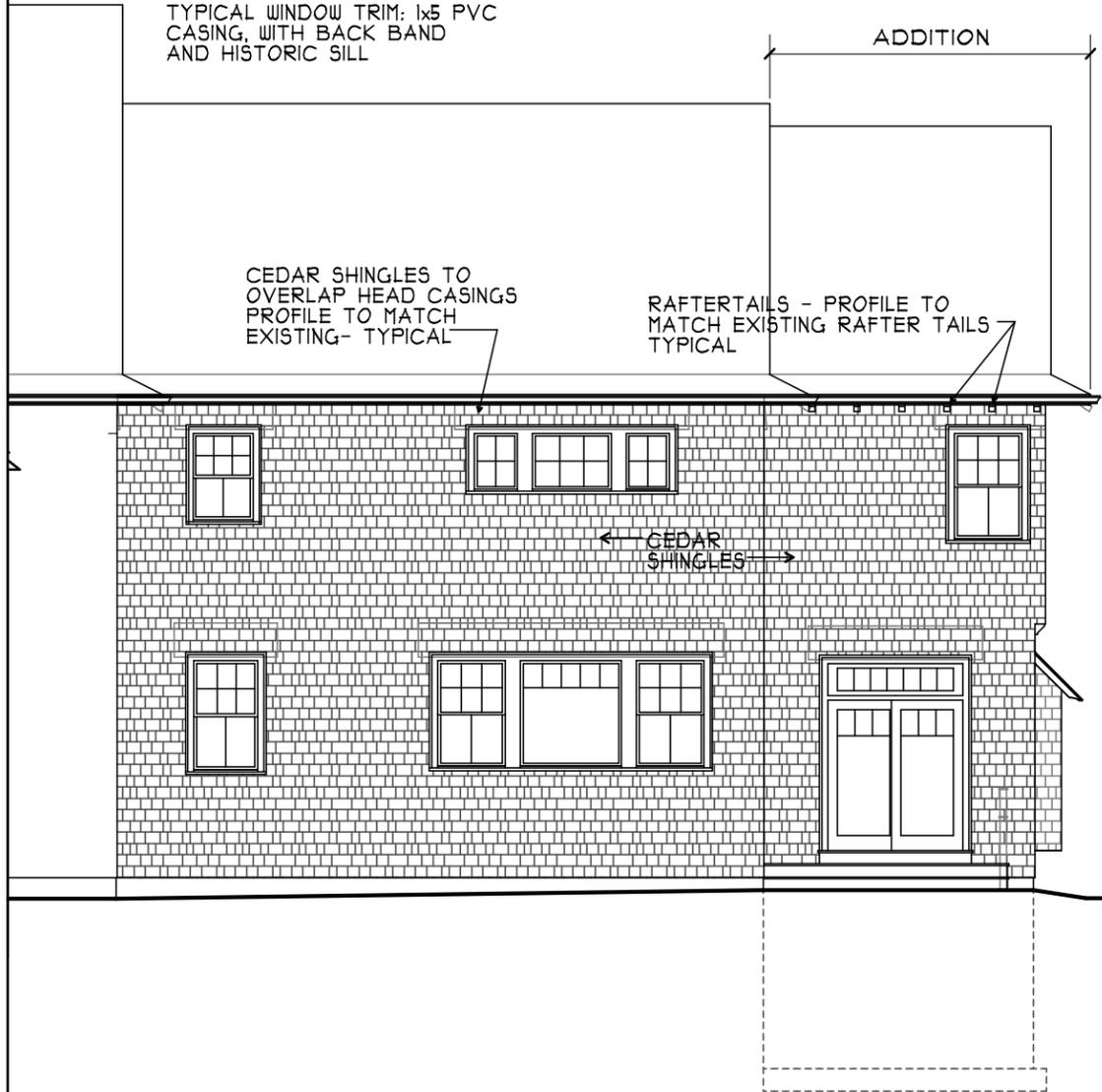
NOTES:
ALL EXTERIOR TRIM TO BE
AZEK PVC OR EQUAL

TYPICAL WINDOW TRIM: 1x5 PVC
CASING, WITH BACK BAND
AND HISTORIC SILL

CEDAR SHINGLES TO
OVERLAP HEAD CASINGS
PROFILE TO MATCH
EXISTING- TYPICAL

RAFTERTAILS - PROFILE TO
MATCH EXISTING RAFTER TAILS
TYPICAL

ADDITION



2 EAST ELEVATION
A4 1/8"=1'-0"

ADDITION

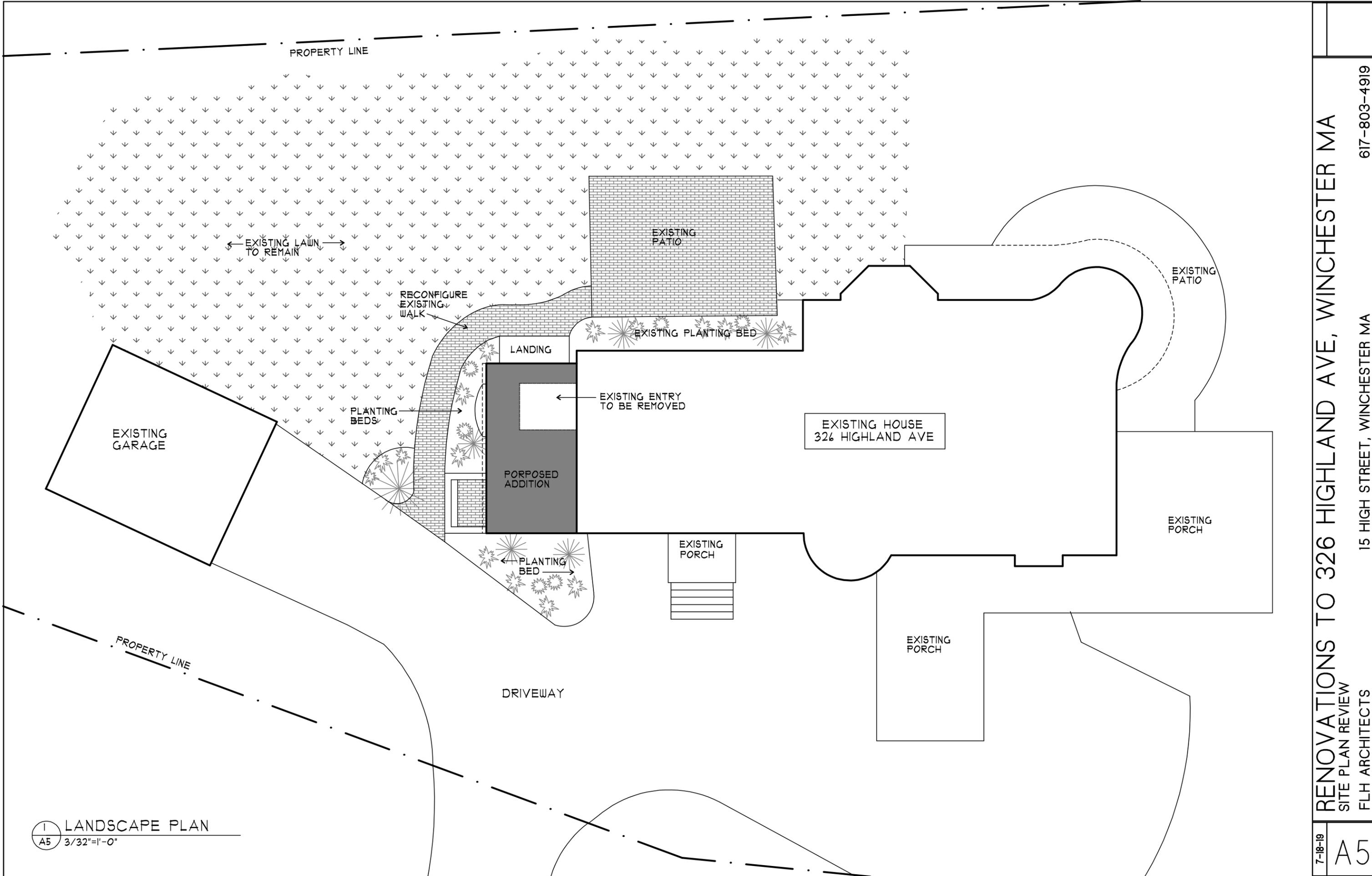
RAFTERTAILS - PROFILE TO
MATCH EXISTING RAFTER TAILS
TYPICAL

CEDAR SHINGLES TO
OVERLAP HEAD CASINGS
PROFILE TO MATCH
EXISTING- TYPICAL

CEDAR SHINGLES



1 WEST ELEVATION
A4 1/8"=1'-0"



PROPERTY LINE

EXISTING LAWN TO REMAIN

EXISTING PATIO

EXISTING PATIO

RECONFIGURE EXISTING WALK

EXISTING PLANTING BED

LANDING

EXISTING ENTRY TO BE REMOVED

EXISTING HOUSE
326 HIGHLAND AVE

EXISTING GARAGE

PLANTING BEDS

PROPOSED ADDITION

EXISTING PORCH

PLANTING BED

EXISTING PORCH

EXISTING PORCH

PROPERTY LINE

DRIVEWAY

1 LANDSCAPE PLAN
A5 3/32"=1'-0"

RENOVATIONS TO 326 HIGHLAND AVE, WINCHESTER MA

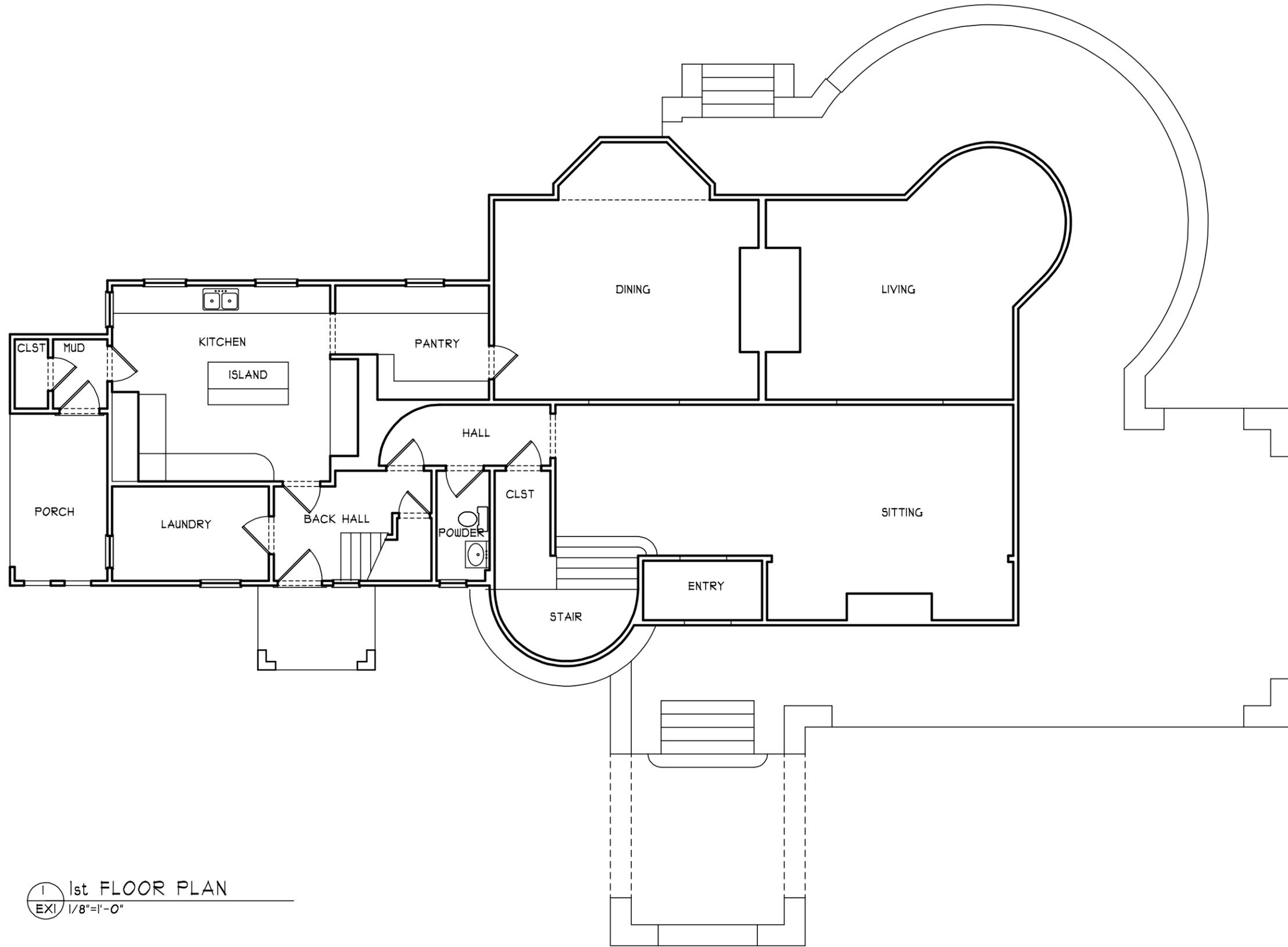
SITE PLAN REVIEW
FLH ARCHITECTS

15 HIGH STREET, WINCHESTER MA

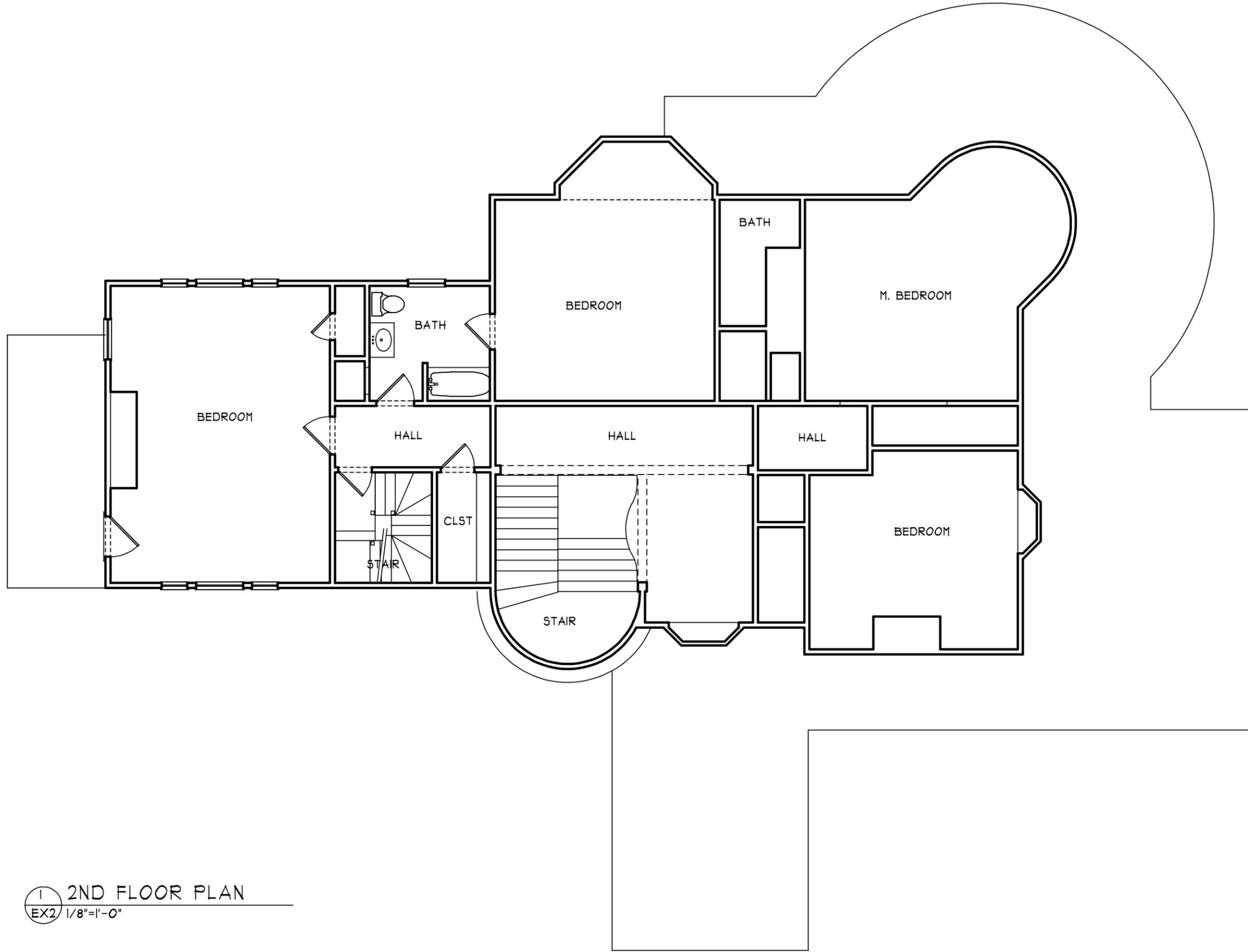
617-803-4919

7-18-19

A5



1st FLOOR PLAN
 EXI 1/8"=1'-0"



1 2ND FLOOR PLAN
 EX2 1/8"=1'-0"

1 NORTH ELEVATION
EX3 1/4"=1'-0"



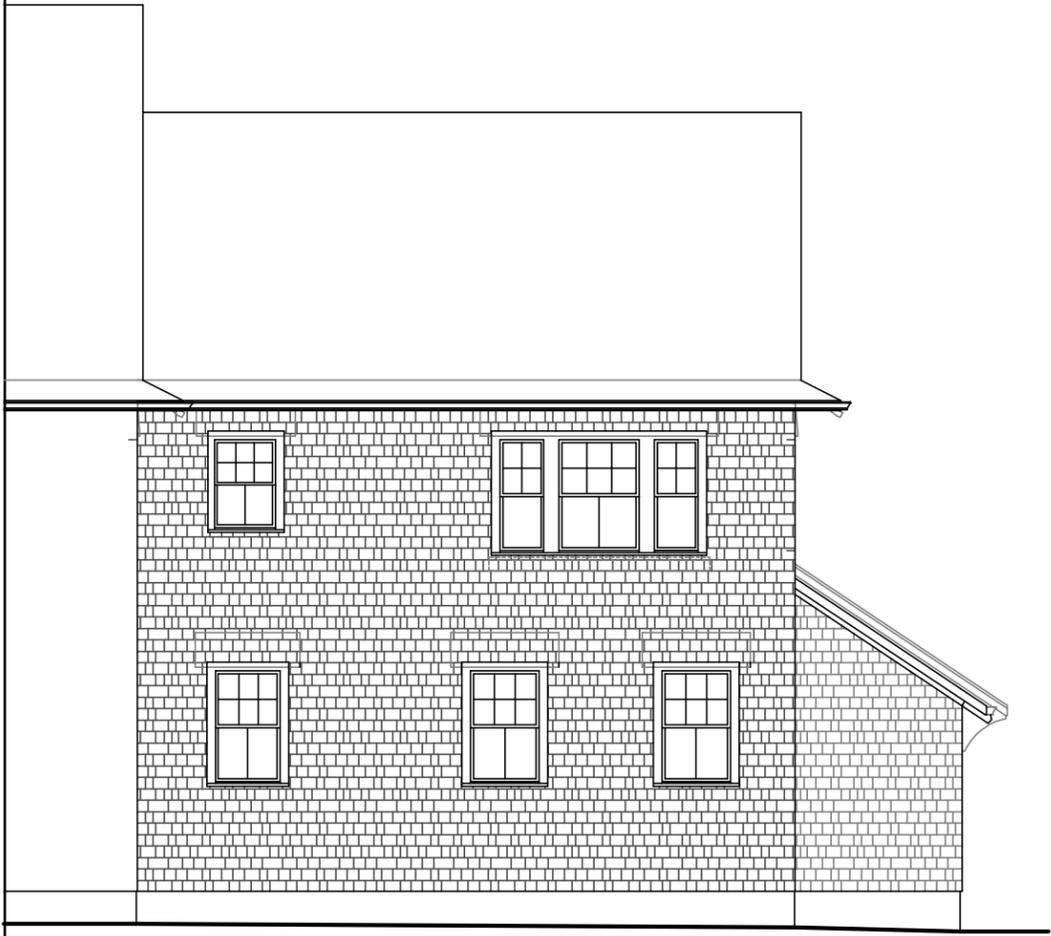
7-18-19

EX3

RENOVATIONS TO 326 HIGHLAND AVE, WINCHESTER MA
SITE PLAN REVIEW
FLH ARCHITECTS

15 HIGH STREET, WINCHESTER MA

617-803-4919



2 EAST ELEVATION
EX4 1/8"=1'-0"



1 WEST ELEVATION
EX4 1/8"=1'-0"

SITE FOOTPRINTS:

EX. HOUSE:	2,103 S.F.
EX. GARAGE:	470 S.F.
EX. CARPORT/FRONT PORCH:	912 S.F.
EX. 2ND STORY PORCH:	226 S.F.
EX. RAISED PATIO:	336 S.F.
EX. PAVEMENT:	3,442 S.F.
EX. BRICK WALK/PATIO:	544 S.F.
EX. SIDE PORCH:	54 S.F.
PROP. ADDITION:	261 S.F.
PORCH/ENTRY TO BE REMOVED:	162 S.F.

DRAINAGE NOTES:

ENTIRE ROOF AREA OF THE PROPOSED ADDITION (261 S.F.) TO BE PIPED TO THE DRAINAGE AREA AS SHOWN. ROOF DRAINS (RD) TO BE 4" HDPE WITH A MIN. SLOPE OF 1%.

PLOT PLAN OF LAND
#326 HIGHLAND AVENUE
WINCHESTER, MASS.

PREPARED BY:

SULLIVAN ENGINEERING GROUP, LLC
 P.O. BOX 2004
 WOBURN, MA 01888
 (781) 854-8644

DATE: 5/29/20 SCALE: 1"=20'
 REVISED: 6/22/20

% HARDSCAPE: 4,322 S.F. OR 16.5%
 (CONSISTING OF PAVEMENT, WALKWAYS, PATIO)

% LOT COVERAGE: 4,026 S.F. OR 15.4%
 (CONSISTING OF EX. HOUSE, GARAGE, CARPORT, PORCHES + ADDITION)

% GREEN SPACE: 68%

% OPEN SPACE: 84.5%

DEED REFERENCE:

BOOK: 72293 PAGE: 247

ASSESSOR INFORMATION:

MAP 5 LOT 289

ZONING INFORMATION:

ZONING DISTRICT: RDB

MIN. BUILDING SETBACKS:

FRONT: 25 FEET

SIDE: 15 FEET

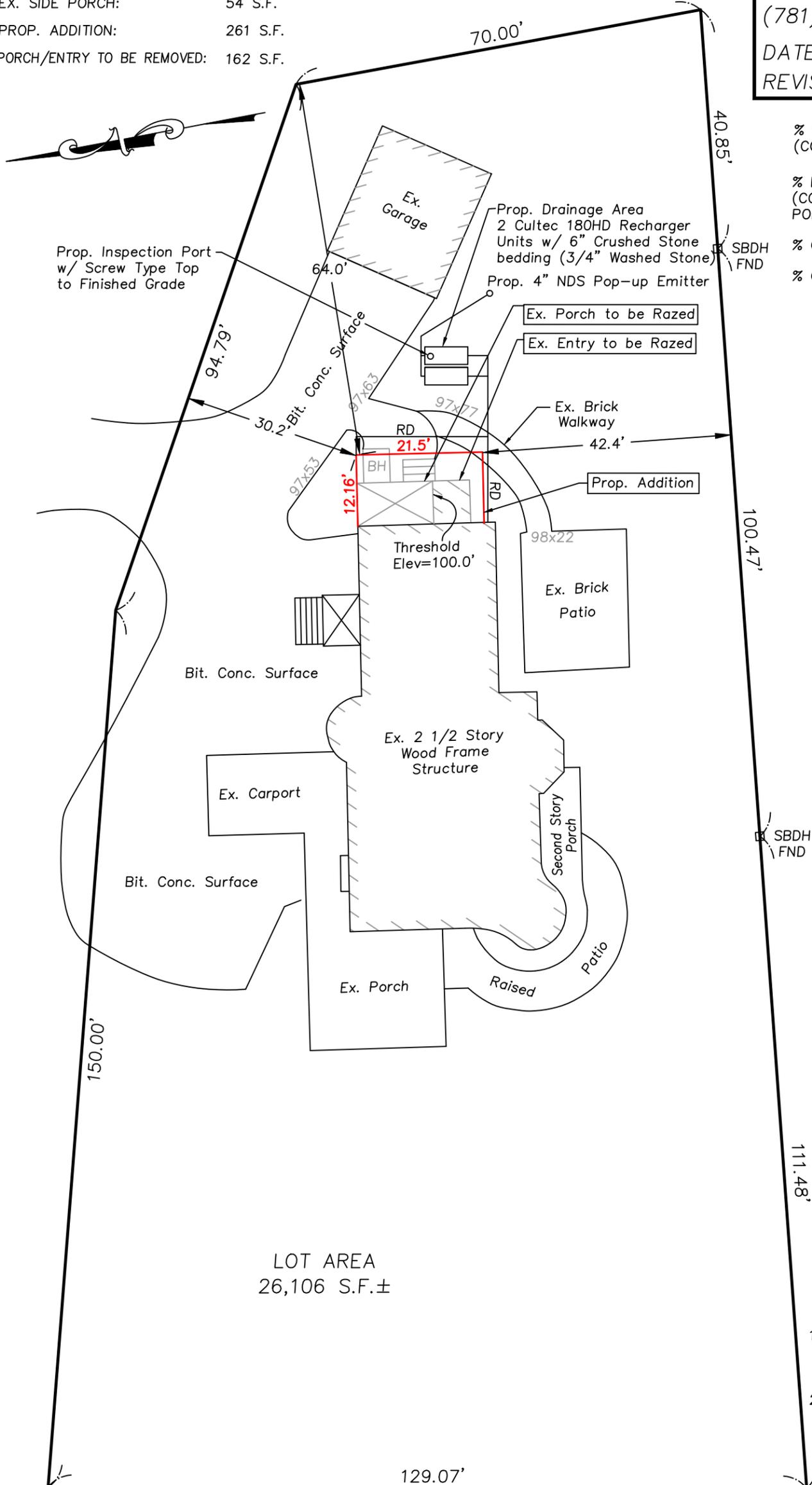
REAR: 15 FEET

LEGEND:

98x22 = EX. SPOT GRADE

BH = EX. BULKHEAD

SBDH = STONE BOUND W/ DRILL HOLE



DRAINAGE SYSTEM O&M

- 1) THE OWNER OF THE PROPERTY SHALL INSPECT ALL ROOF DOWNSPOUTS ANNUALLY TO INSURE THE PIPING IS INTACT AND FUNCTIONING PROPERLY.
- 2) THE DRAIN FIELD SHALL BE INSPECTED ANNUALLY TO INSURE PROPER FUNCTION. THE INSPECTION PORT SHALL BE OPENED AND DIRECT OBSERVATION SHALL BE MADE TO SEE IF THERE IS ANY STANDING WATER. IF THERE IS ANY STANDING WATER, A RE-INSPECTION WILL BE MADE WITHIN 72 HOURS TO SEE IF DRAWDOWN HAS OCCURRED. IF NOT MAINTENANCE WILL BE REQUIRED TO RESTORE DRAINAGE CAPACITY.

HIGHLAND AVENUE

SITE FOOTPRINTS:

EX. HOUSE:	2,103 S.F.
EX. GARAGE:	470 S.F.
EX. CARPORT/FRONT PORCH:	912 S.F.
EX. 2ND STORY PORCH:	226 S.F.
EX. RAISED PATIO:	336 S.F.
EX. PAVEMENT:	3,442 S.F.
EX. BRICK WALK/PATIO:	544 S.F.
EX. SIDE PORCH:	54 S.F.
PROP. ADDITION:	261 S.F.
PORCH/ENTRY TO BE REMOVED:	162 S.F.

DRAINAGE NOTES:

ENTIRE ROOF AREA OF THE PROPOSED ADDITION (261 S.F.) TO BE PIPED TO THE DRAINAGE AREA AS SHOWN. ROOF DRAINS (RD) TO BE 4" HDPE WITH A MIN. SLOPE OF 1%.

**PLOT PLAN OF LAND
#326 HIGHLAND AVENUE
WINCHESTER, MASS.**

PREPARED BY:

SULLIVAN ENGINEERING GROUP, LLC
P.O. BOX 2004
WOBURN, MA 01888
(781) 854-8644

DATE: 5/29/20 SCALE: 1"=20'

% HARDSCAPE: 4,322 S.F. OR 16.5%
(CONSISTING OF PAVEMENT, WALKWAYS, PATIO)

% OPEN AREA: 4,026 S.F. OR 84.5%
(CONSISTING OF EX. HOUSE, GARAGE, CARPORT, PORCHES + ADDITION)

% GREEN SPACE: 68%

DEED REFERENCE:

BOOK: 72293 PAGE: 247

ASSESSOR INFORMATION:

MAP 5 LOT 289

ZONING INFORMATION:

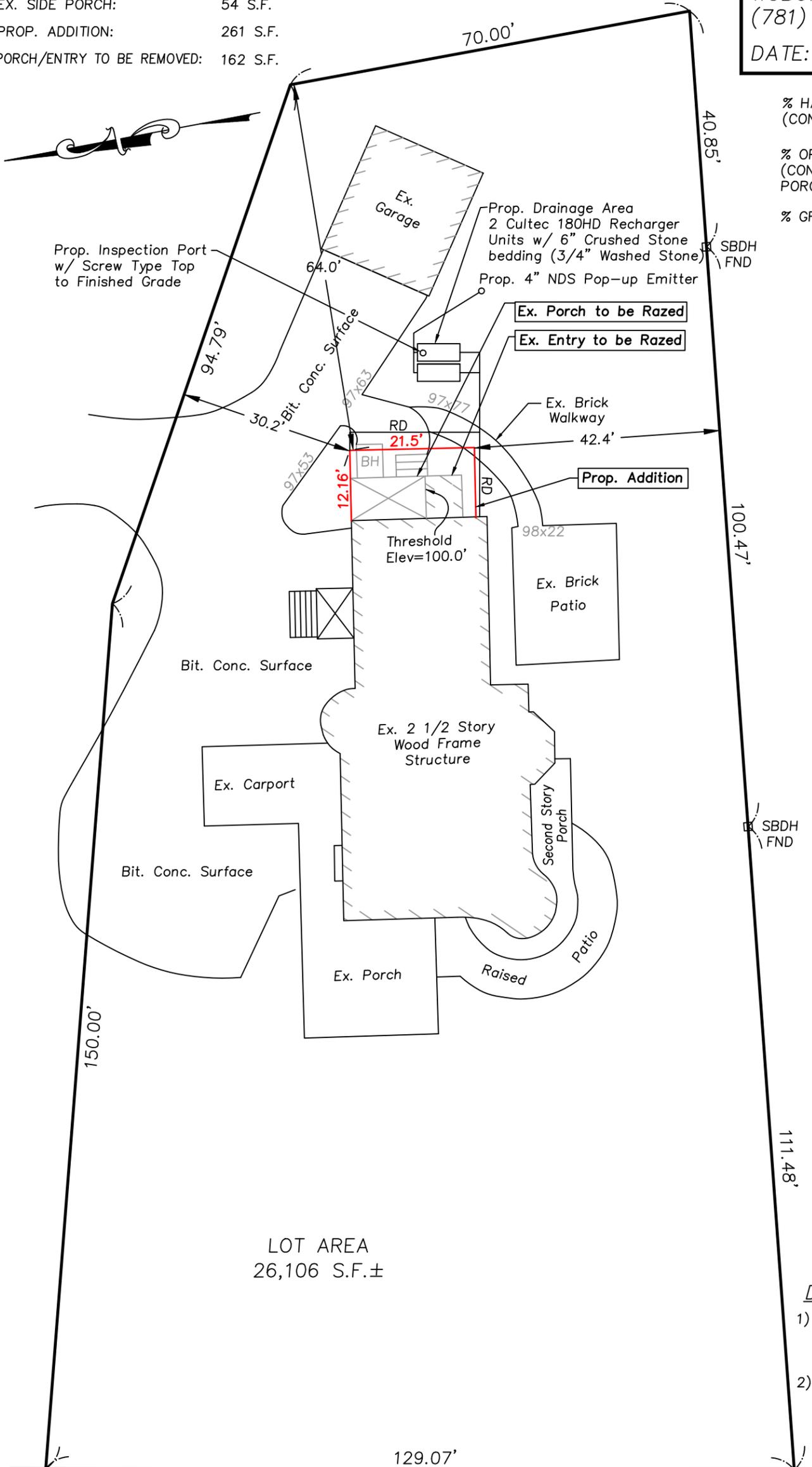
ZONING DISTRICT: RDB
MIN. BUILDING SETBACKS:
FRONT: 25 FEET
SIDE: 15 FEET
REAR: 15 FEET

LEGEND:

98x22 = EX. SPOT GRADE

BH = EX. BULKHEAD

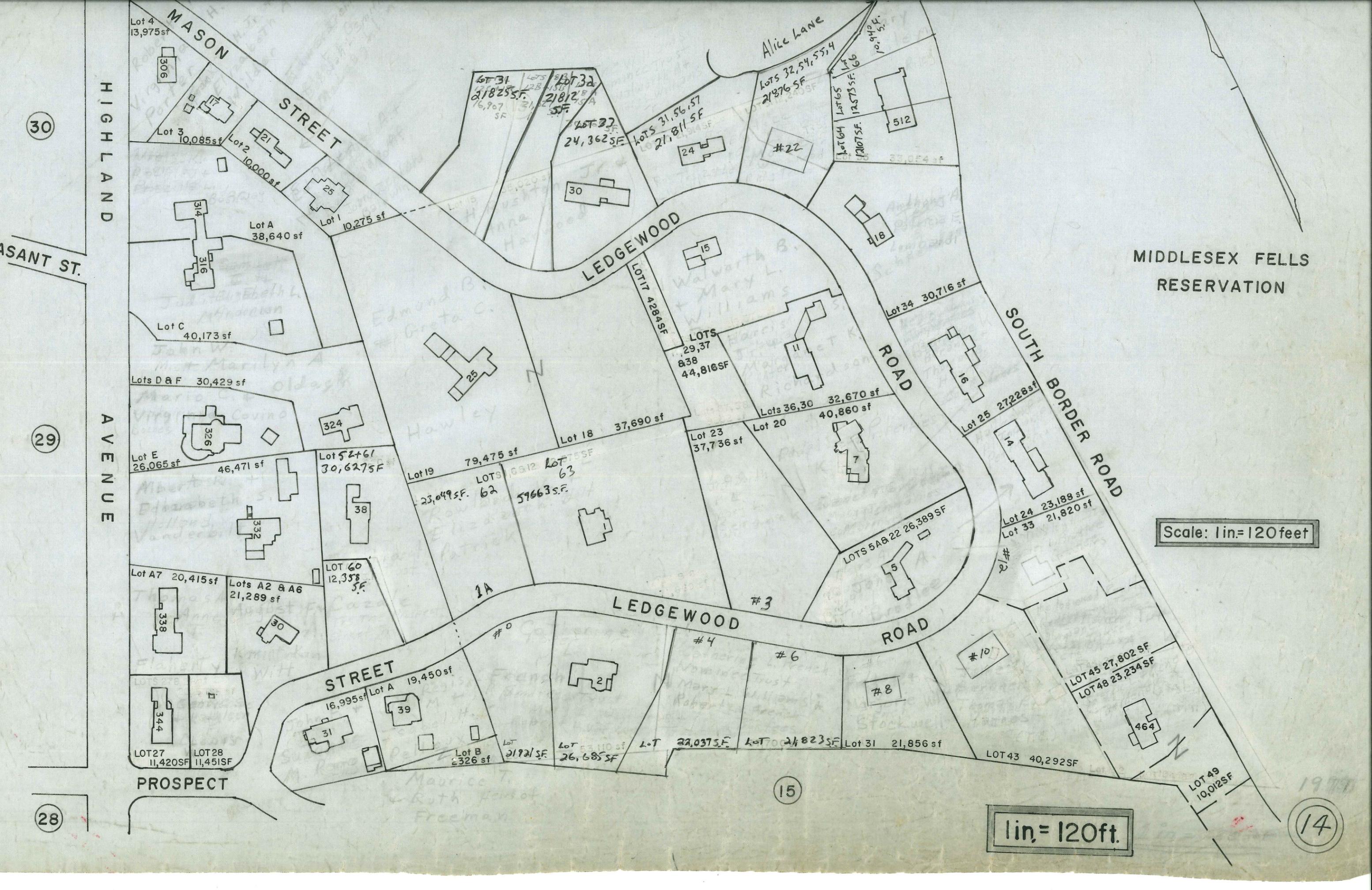
SBDH = STONE BOUND W/ DRILL HOLE



DRAINAGE SYSTEM O&M

- 1) THE OWNER OF THE PROPERTY SHALL INSPECT ALL ROOF DOWNSPOUTS ANNUALLY TO INSURE THE PIPING IS INTACT AND FUNCTIONING PROPERLY.
- 2) THE DRAIN FIELD SHALL BE INSPECTED ANNUALLY TO INSURE PROPER FUNCTION. THE INSPECTION PORT SHALL BE OPENED AND DIRECT OBSERVATION SHALL BE MADE TO SEE IF THERE IS ANY STANDING WATER. IF THERE IS ANY STANDING WATER, A RE-INSPECTION WILL BE MADE WITHIN 72 HOURS TO SEE IF DRAWDOWN HAS OCCURRED. IF NOT MAINTENANCE WILL BE REQUIRED TO RESTORE DRAINAGE CAPACITY.

HIGHLAND AVENUE



MIDDLESEX FELLS RESERVATION

Scale: 1 in. = 120 feet

1 in. = 120 ft.

30

29

28

14

15

HIGHLAND AVENUE

AVENUE

PROSPECT STREET

MASON STREET

STREET

LEDGEWOOD ROAD

LEDGEWOOD ROAD

ROAD

SOUTH BORDER ROAD

Alice Lane

Lot 4 13,975sf

Lot 3 10,085sf

Lot 2 10,000sf

Lot A 38,640sf

Lot C 40,173sf

Lots D & F 30,429sf

Lot E 26,065sf

46,471sf

Lot 5 & 6 30,627sf

Lot A7 20,415sf

Lots A2 & A6 21,289sf

LOT 60 12,358sf

Lot A 19,450sf

16,995sf

LOT 27 11,420sf

LOT 28 11,451sf

Lot B 326sf

Lot 2192sf

Lot 26,685sf

Lot 22,037sf

Lot 24,823sf

Lot 31 21,856sf

LOT 43 40,292sf

LOT 49 10,012sf

Lot 31 21,825sf

Lot 32 21,812sf

Lot 23 24,362sf

Lots 31, 56, 57 21,811sf

Lots 32, 54, 55, 54 21,876sf

Lot 65 12,573sf

Lot 64 12,107sf

Lot 34 30,716sf

LOTS 29, 37 838 44,816sf

Lots 36, 30 32,670sf

Lot 18 37,690sf

Lot 23 37,736sf

Lot 20

Lot 25 27,228sf

Lot 24 23,188sf

Lot 33 21,820sf

LOTS 5A & 22 26,389sf

LOT 45 27,802sf

LOT 48 23,234sf

464

306

21

25

314

316

10,275sf

30

30

#22

512

18

15

25

11

16

326

324

7

14

332

38

2A

1

#3

5

#12

338

30

#0

2

#4

#6

#10

#8

344

31

39

Lot B 326sf

Lot 2192sf

Lot 26,685sf

Lot 22,037sf

Lot 24,823sf

Lot 31 21,856sf

LOT 43 40,292sf

LOT 49 10,012sf

326 HIGHLAND AVE

EXISTING PHOTOS



326 HIGHLAND AVE

EXISTING PHOTOS

