



**TOWN OF WINCHESTER  
PLANNING BOARD MEETING  
TUESDAY, OCTOBER 13, 2020 @ 7:00PM  
7:00PM CONTINUED PUBLIC HEARING:  
FALL TOWN MEETING ARTICLES  
7:30PM PUBLIC HEARING: 10-16 MT. VERNON STREET  
8:30PM CONTINUED PUBLIC HEARING:  
LORING CT. SUBDIVISION  
9:00PM CONTINUED PUBLIC HEARING:  
654 MAIN STREET  
REMOTE PARTICIPATION**

Join Zoom Meeting

<https://us02web.zoom.us/j/88622667517?pwd=aUZEdG4xS0lpcXhFNEZQK0lGNdFhQT09>

Meeting ID: 886 2266 7517  
Passcode: 810232

*Join by Phone*

1-929-205-6099

Meeting ID: 886 2266 7517  
Passcode: 810232

	<b>BUSINESS</b>
7:00PM	Open Planning Board Meeting, Continued Public Hearing: Fall Town Meeting Articles
7:30PM	Public Hearing: 10-16 Mt. Vernon Street
8:30PM	Continued Public Hearing: Loring Ct. Subdivision
9:00PM	Continued Public Hearing: 654 Main Street

9:15PM	ZBA Special Permits: Petition No. 3914 – 138 Forest Street Petition No. 3915 – 1 Abby Rd Petition No. 3916 - 43 Glen Rd
9:35PM	Abby Road Tri-partie agreement
9:55PM	Approval of Minutes for September 8, 2020
10:00PM	Adjourn

	<b>CORRESPONDENCE</b>
	None

	<b>2020 MEETINGS</b>
Thursday	7:00PM Planning Board Meeting, REMOTE PARTICIPATION
Nov. 5th	7:30PM Fall Town Meeting, Remote Participation
Monday	7:00PM Planning Board Meeting, REMOTE PARTICIPATION
Nov. 9th	7:30PM Fall Town Meeting, Remote Participation



# TOWN OF WINCHESTER

## OFFICE OF PLANNING DEPARTMENT

BRIAN SZEKELY

Town Planner

71 Mount Vernon Street  
Winchester, MA 01890

### October 13, 2020 Planning Board Meeting

**CBD-12**

**10-16 MT VERNON ST**

Petitioner seeks a Special Permit and Site Plan Review from Section 7.3 so as to be permitted to construct a third floor addition to an existing two-story mixed-use structure that will have a higher FAR than permitted as of right, and a lower parking ratio than permitted as of right. The property is located in the CBD and contains 3,691 SF. *The Design Review Committee met on this on 9/30/20 and recommended favorable action 5-0 with the following conditions (Prior to Building Permit issuance, DRC requests to review Landscape plans and details. During process of Construction, DRC requests to review onsite mockup of proposed building materials, colors and finishes.) The Historical Commission met on this on 9/28 and found adverse impact on a historical resource and did not recommend the project. See minutes attached to this memo.*

	Requirement	Existing	Proposed
Lot Size	N/A	3,691 SF	unaltered
Front Setback	0'	0'	unaltered
Rear Setback	20'	5'-12'	unaltered
Side Setback	0'	0'   0'	unaltered   unaltered
Height	40'	28'	38.5'
Parking	0.75/unit	0	0

Documents Received:

- CBD Special Permit Application Form D
- Existing Conditions Photos
- 400' radius photos
- Plot plan
- Floor plans
- 2 renderings
- Narrative

Petitioner proposes to add a third story on an existing two-story structure labeled as a HISTORIC RESOURCE on Map 7.3.4. First floor is commercial, while the second floor contains 5 units. Four units are planned for the third floor. The building currently that has 0' lot lines and therefore the building takes up the entire site. Although there is no evidence that a third floor existed on this building, if done correctly, a third floor makes sense for the site. Additionally, the 4

new smaller-scale units that are proposed are unique for Town and I'm excited to see more micro and other smaller units come online potentially. Impervious coverage is not changing due to the addition, and a new elevator is proposed for the building.

**Parking Waiver 7.3.18.2:** Preservation incentives. This Section allows owners to restore building elements and to potentially change Uses without the need for additional parking if the building in question is a Historic Resource. The Use is not changing and there is no evidence that a third floor existed on this building. However, in the spirit of the bylaw, I do not have an issue with 4 new units in the Town Center that do not have off-street parking and I would recommend this waiver.

**FAR:** Applicant states that the FAR proposed is 2.26, yet, the proposed gross floor area is 8,970 with the lot size at 3,691. I am not coming up with the same calculation and request further clarity from the applicant. However, I think a 3<sup>rd</sup> floor is appropriate and would recommend the addition but want to make sure this number is corrected.

**DESIGN:** I recommend hiring an Architect as an outside consultant through 53G with skills in preservation to work with the Winchester Historical Commission and the applicant to further design the third floor to alleviate any concerns they may have. It appears that the top floor as designed is rather flat and not set back far enough based on previous conversations that we have had with this applicant as well as the notes forwarded from the Historical Commission attached.

**AFFORDABLE UNITS:** Based on the Bylaw and also speaking with John Suhrbier of the Housing Partnership Board, this project does not qualify for the need for an affordable unit based on the number of new units proposed. We understand that the total unit count is going from 5 to 9, but since only 4 are new, it does not make sense to require such a unit in this building. I recommend putting a condition on the permit that any additional units that could be placed within this building would have to have at least 1 affordable unit as part of the project.

#### **PETITION 3914**

#### **138 FOREST ST**

Petitioner seeks a Site Plan Review from Section 9.5.1 to demolish and build a new structure larger than 5,000 square feet. The petitioner also seeks relief from Section 9.5.1 so as to be permitted to change the slope of the existing grade by more than 6% of an area more than 500 square feet. The property is located in the RDB zoning district and contains 30,628 SF. *The Historical Commission voted unanimously "no adverse impact on a historic resource" at their meeting on September 28, 2020. It should be noted that the house was deemed Historically Significant back in 2018 and a 12-month delay was imposed on the demolition. That 12-month period has expired and the delay has been lifted and can therefore proceed. The Design Review Committee voted unanimously*

*unfavorable for this petition, based on the following (it should be noted that the DRC used criteria for Special Permit and Site Plan Review, when only 9.5 Site Plan Review should be used):*

- a. Per 9.4.2 item 4, size of building forms are out of scale with surrounding neighborhood, suggest pushing back and reducing garage volume or detaching from main house and locating in rear yard*
- b. Per 9.4.2 item 6, impact on natural environment of (2) 10' retaining walls where size of lot allows for less invasive solutions*
- c. Per 9.5.7 item 1, size of building forms are an unreasonable departure from scale of surrounding neighborhood*
- d. Per 9.5.7 item 3, excessive quantity of fill required to achieve the large degree of change from existing grade/topography*

	<b>Requirement</b>	<b>Existing</b>		<b>Proposed</b>	
Lot Size	10,000 SF	30,628 SF		unaltered	
Front Setback	25'	Not provided		53.8'	
Rear Setback	15'	Not provided		47.5'	
Side Setback	15'	Not provided	Not provided	25.2'	16.5'
Green Space	Min 35%	84%		67%	
Hardscape	Max 35%	16%		33%	
Frontage	80'	103'		unaltered	

The proposal entails the demolition of a Historically Significant house and a subsequent new house is planned for construction. The hardscape and green space calculations add up to 100%, which doesn't take into consideration the footprint of the house. The hardscape counts the house footprint AND the hardscape. Further clarification is needed on this calculation. 37 trees are being removed as part of the project and nearly all of them are in the setback areas and most are mature. Much of the replacement vegetation are arborvitaes or other small bushes or trees in the setback area. A robust landscaping plan is provided but there are several invasive tree species listed. There is a significant amount of grading on the site with retaining walls that are over 6' tall. Although the house is attractive from the street, I find the plan to be too extensive for the site and request the applicant to reduce the scale of the building, preserve more mature trees on site and minimize the amount of retaining walls. **I recommend unfavorable action with regards to this petition for the following reasons:**

1. The applicant has not minimized an unreasonable departure from the character and scale of buildings in the vicinity.
2. Cut and fill as well as mature tree loss does not appear to be minimized as part of the proposal.

house rebuild on the footprint, with a new porch that will extend into the side yard setback. Few of the dimensions on the dimensional analysis are equal to the numbers on the plot plan. Overall this is a carefully designed house that is inviting and at the end of cul-de-sac. I recommend favorable action based on the design of the house, what can be seen from the neighbors, and the letter of support.

**PETITION 3915**

**LOT 1 ABBY RD**

Petitioner seeks a Dimensional Variance from Section 4 of the Zoning Bylaw to construct a house that is located closer to the front property line than permitted as of right. The property is located in the RDB zoning district and contains 10,151 SF. *The Historical Commission voted unanimously “no adverse impact on a historic resource” at their meeting on September 28, 2020 due to no resources in the area. The Design Review Committee voted unanimously unfavorable for this petition, as “New construction project within a newly permitted and constructed subdivision should be able to conform to dimensional zoning requirements*

	<b>Requirement</b>	<b>Existing</b>	<b>Proposed</b>
Lot Size	10,000 SF	10,151 SF	unaltered
Front Setback	25'		20'
Rear Setback	15'		23.1'
Side Setback	15'		26'   16'
Green Space	Min 35%	100% (vacant land)	62%
Hardscape	Max 35%		10%
Frontage	80'		unaltered

This lot was created through a Subdivision approval with the Planning Board, a land transfer through Town Meeting, and a Development agreement with the Select Board. The condition that the applicant go through the ZBA for front setback encroachment was placed on the Development Agreement with the Select Board, not the Planning Board’s subdivision approval that the applicant states. Subdivision doesn’t typically contemplate size and location of the proposed house (other than drainage calculations and placement of underground utilities and other easements), even though footprints were shown on the plans submitted. Using the Variance process to potentially undue or alter anything in the Subdivision should not occur. Variances are only awarded for petitions that fit inside the bounds of MGL 40A Section 10. Variances may only be approved when the SPGA finds that the owing circumstances to the relief sought must relate to *soil, topography, or shape of such land or structures involved*. There have been many emails from

abutters that have been sent to the Planning Board relating to the loss of trees in the rear of the lot, and the significantly larger footprint and therefore closer to the rear property line than anticipated. The Variance process before us however cannot contemplate such issues. The front setback relief sought is unrelated to the soil, topography or shape of the land or structures on the site. The relief is being sought due to a Development Agreement that relates to moving the houses away from the rear lot line in order to have larger separation between houses. **The application therefore does not meet the standards for awarding a Variance and I recommend unfavorable action with regards to this petition.**

**PETITION 3916**

**43 GLEN RD**

Petitioner seeks a Special Permit from Section 3.5.5 so as to be permitted to construct an addition that will be located close to the side property lines than permitted as of right. The property is located in the RDB zoning district and contains 12,899 SF. *The Historical Commission voted unanimously “no adverse impact on a historic resource” at their meeting on September 28, 2020. The Design Review Committee voted unanimously for favorable action with no conditions for this petition.*

	<b>Requirement</b>	<b>Existing</b>		<b>Proposed</b>	
Lot Size	10,000 SF	12,899 SF		unaltered	
Front Setback	25'	29.7'		27'	
Rear Setback	15'	~85+'		~75+'	
Side Setback	15'	<b>4.7'</b>	<b>11'</b>	unaltered	unaltered
Green Space	Min 35%	66.8%		66.5%	
Hardscape	Max 35%	15.5%		8.8%	
Frontage	80'	87.9'		unaltered	

The proposal entails the connection of an existing garage to an existing 1.5 story house along with an addition in the rear of the property that will not be prominent. This is a rather large addition but does not appear to negatively affect the neighborhood with respect to scale and character. Due to the existing garage in the setback, I do not see the connection of the house to it as an issue and I agree with Design Review and Historical Commission and recommend favorable action with regards to this petition.

**SUBDIVISION**

**ABBY RD**

The Subdivision applicant is before the Board for 2 reasons.

1. The applicant wishes to decrease the money in escrow from \$13,000 to \$3,000 per the email dated 9/29/20. The applicant states that the extra \$10,000 was not something he felt was appropriate at the time of creation of the tri-partite agreement. The money in question is being held in escrow in case the Town needs to perform a survey on the land in the future for whatever reason if the developer leaves the site. This was based on a recommendation from the Town Engineer, and we all supported it. The applicant has elevated this to the Town Manager and to Legal Counsel. There is always reason to believe that we should check other's work if we are going to be performing any site analysis or development on a site. The applicant claims we are holding hostage the \$10,000 and that is unfair and directed solely at him. I disagree with this sentiment and recommend the figure that was agreed upon at the time of the tri-partite agreement.

2. The applicant wishes to transfer funds out of the existing account and put into a new account where the new owners of lots 1-3 will take over their responsibility from Five Points. Legal counsel was OK with this in principle but felt a vote of the Board would be the cleanest.

**SUBDIVISION**

**LORING CT**

This subdivision was reviewed in September of 2020 and several comments and edits were suggested. The revisions that were included in the revised plan set include monuments set on the corners, landscaping to add trees, reducing of driveway widths and added a small grass strip. Additionally, the saw cut line has been corrected. As of now, the only item that has not been discussed is what conditions could be placed on Lot 4 in order to make sure that is maintained if not conglomerated with the adjacent duplex property. Previously, I had thought certain conditions (related to maintenance) on the permit would be appropriate to maintain Lot 4 prior to any ANR that would combine Lot 4 with the duplex property. Those conditions relate to mowing and general maintenance of the property to keep access clear for utility and other easements.

**CBD APPLICATION**

**654 MAIN STREET**

The only item on the agenda for this meeting is related to peer review. At this time, I do not have the scope and quote from Toole Design to peer review the Traffic Study for the project. They have assured me that a scope and quote will be delivered to the Board before the meeting on 10/13. At that time, we will review the proposal and potentially vote for money to be put in escrow.

WINCHESTER, MA CENTER BUSINESS DISTRICT (7.3)  
 Special Permit Application: Form D (Dimensional Special Permit)

RECEIVED  
 WINCHESTER ENG DEPT.

2020 AUG 19 PM 2:32

Application Date:

Property Address: 10-16 Mount Vernon St.

Subzone:  
 East Core.....  
 Town Common.....  
 North Core.....  
 Museum.....

Lot size: 3691 S.F.

Current Use: Mixed use Retail /Residential

Property Owner(s) Name and Address

10-16 Mount Vernon LLC  
 P.O. Box 394  
 Winchester MA 01890

Property Owner(s) Signature

John R Leavitt Manager  
*John R Leavitt*

Assigned Application #: CBD-

Date of Pre-Application Meeting with Town Planner:

Historic Structure according to Map 7.3.4? Yes  No

Zoning Compliance

Requirement	Current	Proposed
Height: 40'	28'5"	38' 45"

Open Space %: N/A Zero Lot Line

Front Setback: N/A Zero Lot Line

Rear Setback: N/A Zero Lot Line

Side Setback: N/A Zero Lot Line

Floor-Area-Ratio: 2.26

Gross Floor Area: 8971

Frontage: 53.18

TOWN CLERK  
 TOWN OF WINCHESTER

2020 SEP - 1 AM 9:43

RECEIVED AND FILED  
*Morgan*

TITLE REFERENCE

(Unregistered land) Middlesex County Registry of Deeds; Book \_\_\_\_\_, Page \_\_\_\_\_

(Registered land) Land Court Certificate of Title No. 4524 Book 16246, Page 109

Date of Recording: 12/19/1986

Petitioner 10-16 Mount Vernon LLC seeks a Special Permit

under Section 7.3 of the Winchester Zoning By-Law for the property located at

10-16 Mount Vernon St. and asks that the Planning Board make the following

findings of fact in accordance with the Winchester Zoning By-Law and Massachusetts General Laws, Chapter 40A, Section 9.

1. The use to which the Petitioner seeks to put this property is allowable by Special Permit pursuant to Section 7.3 of the Winchester Zoning By-Law and the "Table of Uses" thereunder as follows: We are proposing a third floor addition on a two story building. The existing building has retail on the first floor and 5 one bedroom apartments on the second floor. The 3rd floor we are proposing will have 4 one bedroom apartments.
2. The proposal makes satisfactory provision and arrangement for ingress and egress to the property and proposed structures, with particular reference to automotive and pedestrian safety and convenience, traffic flow, and control and access in the case of fire or catastrophe, as follows: The propose design will not effective the ingress or egress to the property. New stairs are proposed at the proposed 3rd floor, connecting with the existing main stair case and second egress, without any changes to the existing.
3. The proposal makes satisfactory provision and arrangement for off-street parking and loading areas, with particular attention to the economic, noise, glare or odor effects of the Special Permit on adjoining properties and properties generally in the zoning district, as follows: The building can't offer any off street parking do to the lack of open space. There are parking permits available for tenants.
4. The proposal makes satisfactory provision and arrangement for refuse collection or disposal and service areas, as follows: For the proposed 4 residential units, we will propose to continue with the existing method of refuse collection and/ or disposal.

5. The proposal makes satisfactory provision and arrangement for screening and buffering, with reference to the type, dimensions, and character of the use, as follows:

We're proposing a great conditions about this subject. At the left side of building on MT Vernon St. we don't have setbacks only a fire rated wall, and the proposed 3rd floor will be higher than roof of neighbor's building. At the left side in Winchester Place, the neighbor's building is connected to us with a fire rated wall in the first and second floor. At the proposed 3rd floor no changes at the existing conditions of the foot print and/or open space. The proposed 3rd addition is the only change in the existing building.

In the rear of the building we will have a 5' to 12' wide corridor which it will work as a open zone without blocking the natural light and ventilation.

6. The proposal makes satisfactory provision and arrangement for signs, if any, and exterior lighting, with reference to glare, traffic safety, economic effect, and compatibility and harmony with properties in the district, as follows:

We will follow zoning code

7. The proposal makes satisfactory provision and arrangement for the general compatibility with adjacent properties and other property in the district as follows:

Using the Colonial Revival Style of the existing building on the proposed 3rd floor addition, will help to keep in the charm of existing neighborhood.

PROJECT NARRATIVE

\*\*ATTACH EXISTING CONDITIONS PHOTOGRAPHS,  
ARCHITECTURAL/LANDSCAPE/SITE PLANS, ELEVATIONS, AND ANY OTHER  
EXTERIOR DETAILS AND MATERIALS PLANS DEEMED NECESSARY BY TOWN  
PLANNER (USE ADDITIONAL SPACE ON NEXT SHEET IF NECESSARY)

Signed as a statement of fact under the pains and penalties of perjury, this 17 day of  
August, 20 20.

SIGNATURE John R Leavitt  
(Petitioner/Agent) Manger

Address P.O. Box 394 Winchester MA 01890 Tel No. 617 510 8682

10-16 Mount Vernon Street, LLC

P.O. Box 394

Winchester MA 01890

Subject Location 10-16 Mount Vernon St.

  
RECEIVED AND FILED

2020 SEP -1 AM 9:44

TOWN CLERK  
TOWN OF WINCHESTER

Dear Planning Board

The proposed third floor addition to the existing 2 story corner building in the East Corridor of the CBD will have scale and proportion with adjacent building and structures.

Due to the location of the building, it is our goal to continue with the Colonial Revival Style of the existing building, ensuring the preservation and the charm of the neighborhood.

I am not looking to disturb the existing appearance of the East Corridor of the Central Business District.

The subject property will be in line with the current architecture.

The proposed third floor consist of 4 residential units ranging in size of 399 sq. ft to 519 sq. ft.

Also, included a main egress, second egress, elevator, and laundry/service area.

The proposed finish material of the new façade area will blend smoothly with the existing building. Our intention is to give the look to the building in a way that the proposed third floor will look like it always belong to the original building.

There is a strong need for rental units in the downtown area for many residents that have downsized and would like to stay in town. Also, adult children who would like to move back into town and be close to their parents and family. Everyone would like to take advantage of the proximity and easy access to all public transportation that can take them to airports, Boston, etc. right from our downtown train station.

Submissions:

7.3.16.14 Housing Plan:

1 unit Size 399 Sq. Ft Rental Voucher \$1,800

Not required only 4 units.

Parking 7.3.20.2

7.3.20.4

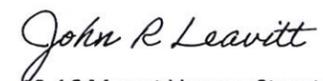
No vehicle parking is required for additions or changes in Allowed Uses to structures listed as Historic Resources and shown on the Historic Resources Map 7.3.4 located in Section 7.3.18

The buildings 800-foot walking distance of a transit station, bus stop or taxi stand. Walking distance is to be measured from the nearest entrance of the building to the nearest qualifying transit facility location.

This proposed 3<sup>rd</sup> floor addition is the prime reason that the CBD was planned to "bring people and business" together making our downtown lively & vibrant for all to enjoy.

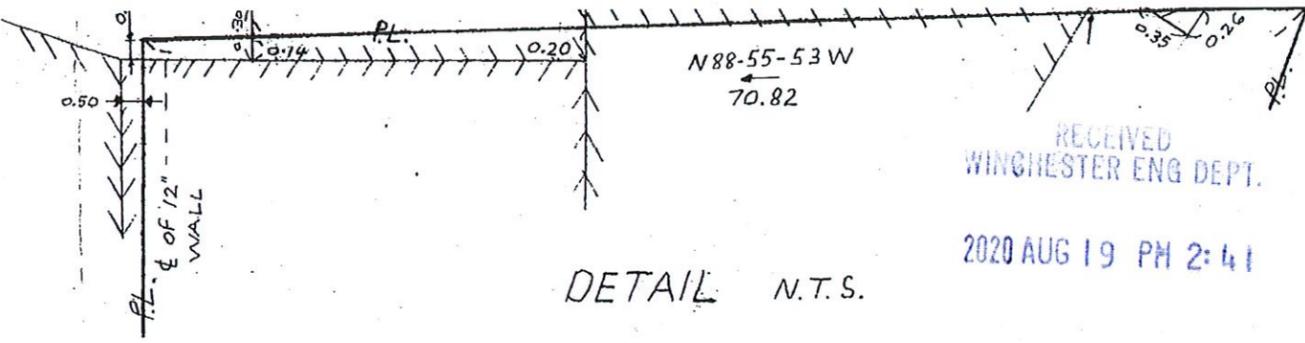
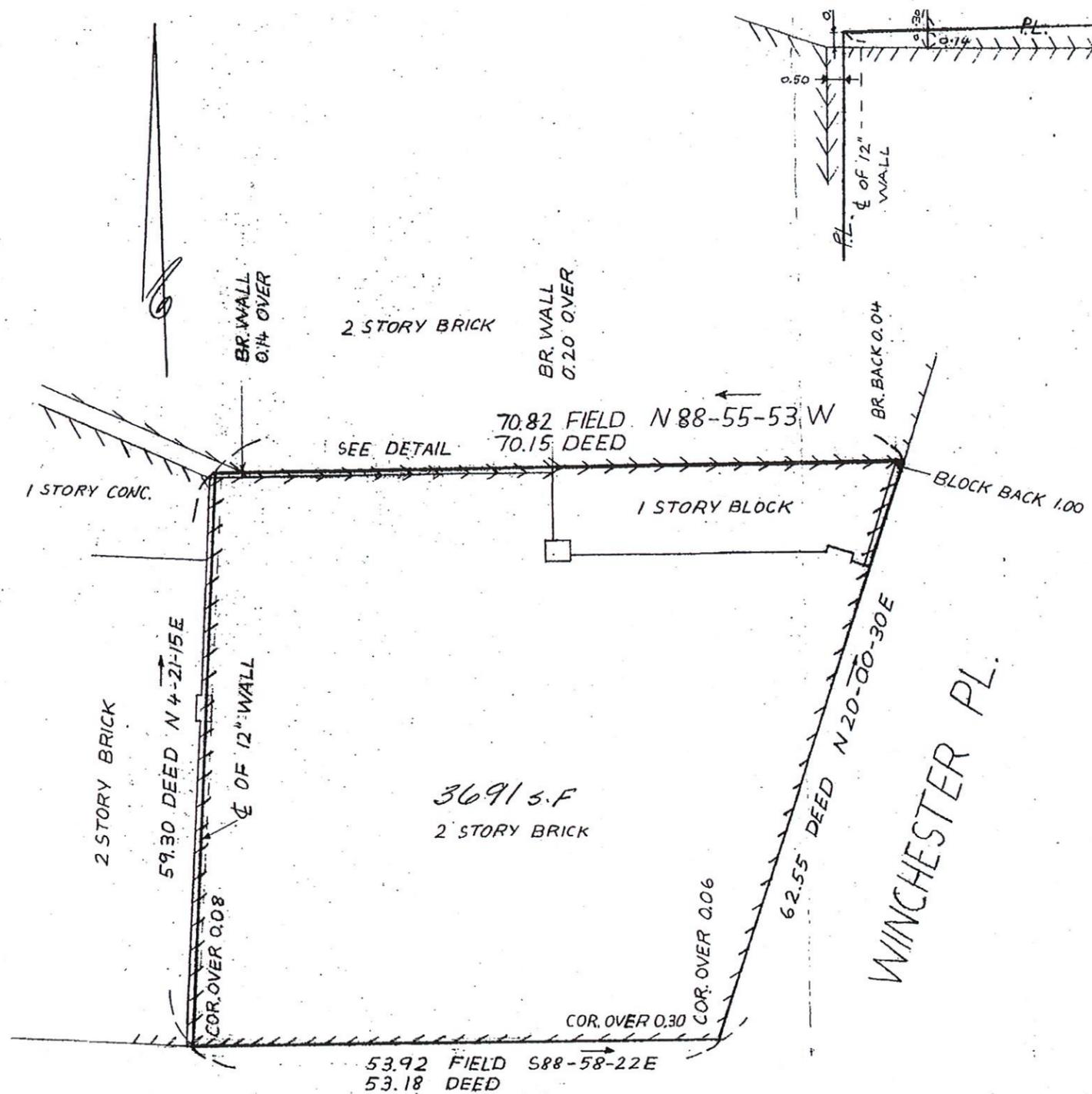
Thank You,

John R Leavitt Manager



10-16 Mount Vernon Street LLC





RECEIVED  
WINCHESTER ENG DEPT.  
2020 AUG 19 PM 2:41

DETAIL N.T.S.

## PLAN REFERENCE

1. Registry Book 16246 Page 109
2. Land Court Case 4524
3. Street Acceptance plans for Winchester Place and Mt. Vernon Street, on file at the City Engineers office.

I certify to Title USA Insurance Corporation of New York, R.A. Johnson Realty, and to all others interested in title to the premises surveyed, that this actual survey was made on the ground between December 17 and 22, 1986 according to record description and is correct except as noted; that there are no encroachments either way across property lines except as shown.

I further certify that the buildings shown hereon are located on the ground as shown and that they conformed with the zoning and ordinance by laws of the city of Winchester when constructed, except as noted.

I hereby certify that the building shown on this plan is approximately located on the ground as shown thereon and that it conformed to the zoning and building laws of the town of Winchester when constructed and to restrictions on record.

 **SOMERVILLE ENGINEERING, INC.**  
CONSULTING ENGINEERS

10-16 MT. VERNON ST.  
WINCHESTER MASS.

**LAND TITLE SURVEY**

DRAWN BY J.M. SCALE 1"=10' JOB NO. DRG 240





DESIGN OFFICE | BOSTON

DATE: BY:

ALVARO LUCENA, INT'L ASSOC. AIA  
37 Jackson St. Newton MA 02459  
al@alvarolucena.com  
617-948-0811

PROGRESS PRINTS REVISIONS

	JULY 31 15
	MARCH 31 17
	APRIL 21 17
	JUNE 3 17
	OCT 23 19
	MAY 28 20
	JUNE 2 20
	AUG 18 20

PROFESSIONAL ENGINEER

MAARIJ KIRMANI  
P. S. E.  
COMMONWEALTH OF MASS.  
Lic# 06150-001/000007181-2018-0339  
16 BROAD RD, LEXINGTON, MA 02421

PLAN  
BASEMENT PLAN

PROJECT NAME AND LOCATION  
PROPOSED THIRD FLOOR ADDITION

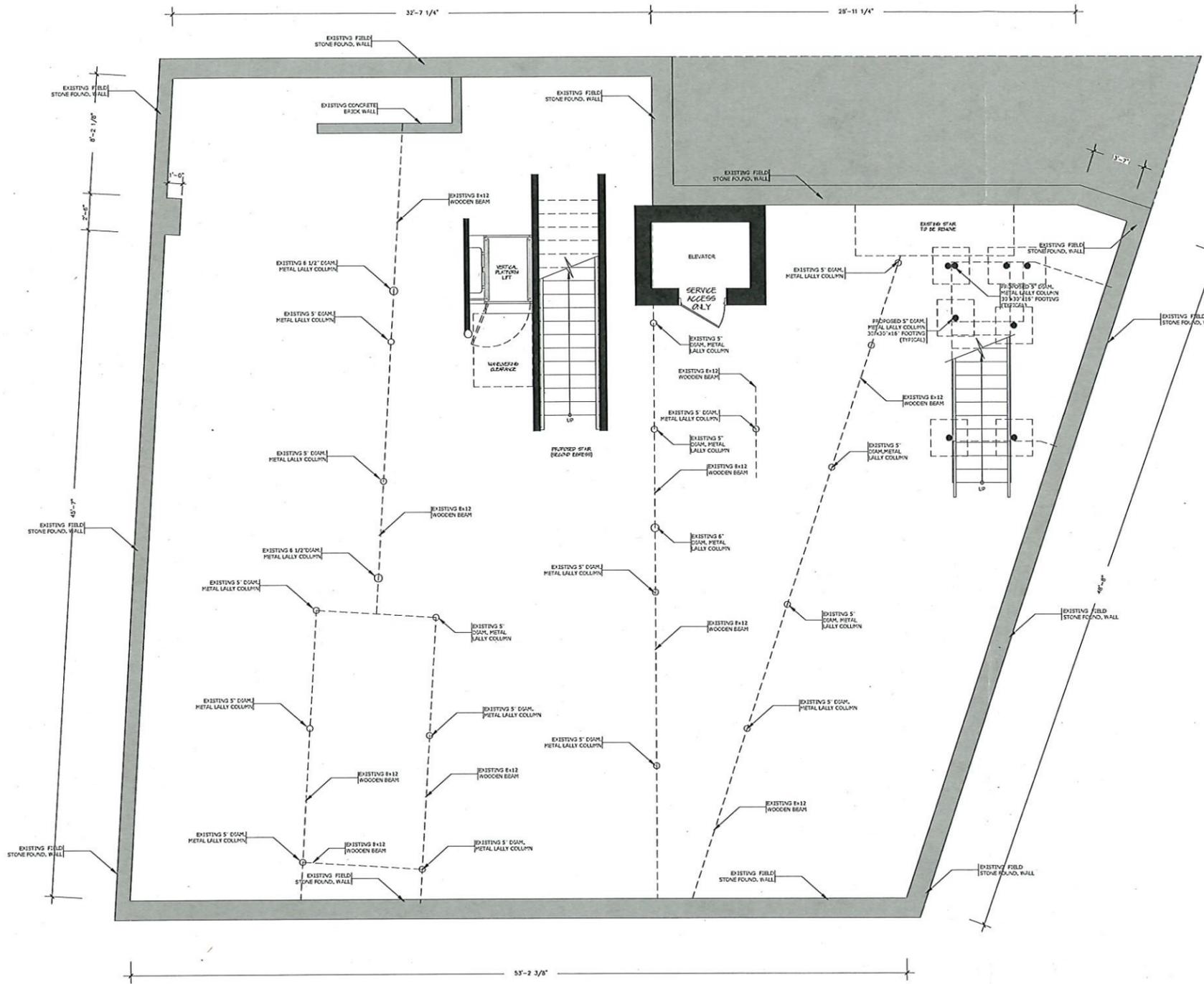
LOCATION  
10-16 MT. VERNON ST,  
WINCHESTER,  
MA 01890



CALLS NORTH  
SCALE 1" = 1/4"  
DRAWN BY AL  
JOB No. P-201  
DATE JULY 22 15

A1

SHEET



GENERAL NOTES:

- NOTE 1:**
- - NEW WALLS
  - ▨ - EXISTING WALLS
  - ▨ - FOUNDATION WALLS AND VENEER BRICK EXT. WALLS
  - - SMOKE DETECTORS: PHOTOELECTRIC INTERCONNECTED HARD WIRED BATTERY BACK-UP
  - ⊙ - C.O. DETECTORS: WIRELESS BATTERY BACK-UP
  - ☒ - FIRE EXTINGUISHER
  - EXIT - EXIT SIGN
  - ☒ - FIRE ALARM CONTROL SYSTEM
- NOTE 2:**
- NEW STAIRS  
-6'-8" MIN. HEADROOM  
-44" MIN. WIDTH  
-11" MIN. TREAD  
-7" MAX. -4" MIN. RISE  
-3-2 x 12'S MIN STAIR STRINGER
- NEW HANDRAIL  
-34" MIN. HEIGHT  
-38" MAX. HEIGHT  
-5" MAX. BALUSTER SPACING
- NEW GUARDRAIL  
-42" MIN HEIGHT  
-BALUSTER PATTERNS SUCH THAT A 4" DIA. SPHERE CANNOT PASS THROUGH ANY OPENING AND ABOVE THE ADJACENT WALKING SURFACE, A SPHERE 8" DIA. SHALL NOT PASS.

NOTE 3:

MECHANICAL EXHAUST FAN SHALL VENT DIRECTLY TO THE OUTSIDE.

NOTE:

CMR 1008 DOORS, GATES AND TURNSTILES. 1008.1 DOORS, MEANS OF EGRESS DOORS SHALL MEET THE REQUIREMENTS OF CMR 1008.0 DOORS SERVING A MEANS OF EGRESS SYSTEM SHALL MEET THE REQUIREMENTS OF CMR 1008.0 AND CMR 1017.2 DOORS PROVIDED FOR EGRESS PURPOSES IN NUMBERS GREATER THAN REQUIRED BY 780 CMR SHALL MEET THE REQUIREMENTS OF CMR 1008.0 MEANS OF EGRESS DOORS SHALL BE READILY DISTINGUISHABLE FROM THE ADJACENT CONSTRUCTION AND FINISHED SUCH THAT DOORS ARE EASILY RECOGNIZABLE AS DOORS. MIRRORS OR SIMILAR REFLECTING MATERIALS SHALL NOT BE USED ON MEANS OF EGRESS DOORS. MEANS OF EGRESS DOORS SHALL NOT BE CONCEALED BY CURTAINS, DRAPES, DECORATIONS OR SIMILAR MATERIALS. CMR 1008.5 LANDING AT DOORS. LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STAIRWAY OR THE DOOR, WHICHEVER IS THE GREATER. DOORS IN THE FULLY OPEN POSITION SHALL NOT REDUCE A REQUIRED DIMENSION BY MORE THAN SEVEN INCHES.

NOTE:

CMR 1009.0 STAIRWAYS AND HANDRAILS. 1009.1 STAIRWAY WIDTH. THE WIDTH OF THE STAIRWAYS SHALL BE DETERMINED AS SPECIFIED IN 780 CMR 1005.1, BUT SUCH WIDTH SHALL NOT BE LESS THAN 44 INCHES. SEE CMR 1007.3 FOR ACCESSIBLE MEANS OF EGRESS STAIRWAYS. 1009.2 HEADROOM. STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80" MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING. 1009.2 HEADROOM. STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY AND LANDING. 1009.3 STAIR TREADS AND RISERS. STAIR RISER HEIGHTS SHALL BE SEVEN INCHES MAXIMUM. STAIR TREAD DEPTHS SHALL BE 11 INCHES MINIMUM.

NOTE:

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1 BASEMENT PLAN



DESIGN OFFICE BOSTON

DRAWN BY:

ALVARO LUCENA,  
INT'L ASSOC. AIA  
37 Beacon St. Boston, MA 02109  
alucena@designoffice.com  
617-963-0813

PROGRESS PLOTS REVISIONS

DATE	REVISION
JULY 31 15	
MARCH 31 17	
APRIL 21 17	
JUNE 3 17	
OCT 23 18	
NOV 03 20	
JULY 22 20	
JULY 24 20	
AUG 18 20	

PROFESSIONAL ENGINEER

MAARIJ KIRMANI  
P. S. E.  
COMMONWEALTH OF MASS  
kirmari@designoffice.com/781-249-1329  
15 GARDEN RD., BEDFORD, MA 02421

PLAN

FIRST FLOOR

PROJECT NAME AND LOCATION  
PROPOSED THIRD  
FLOOR ADDITION

LOCATION  
10-16 MT. VERNON ST,  
WINCHESTER,  
MA 01890

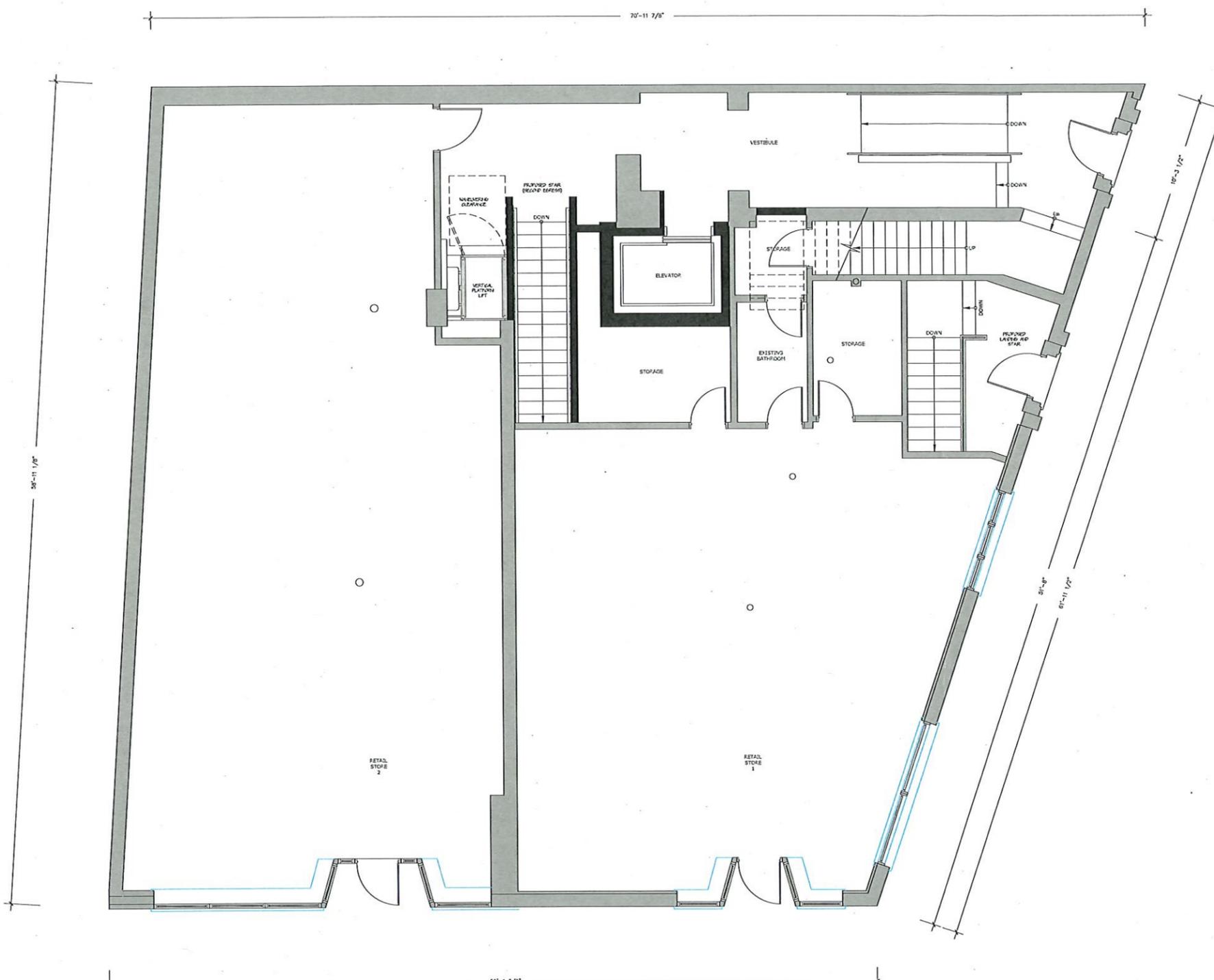


CALL TO NORTH

SCALE	1" = 3'-0"
DRAWN BY	AL
JOB No.	P-215
DATE	JULY 22 15

A2

5-BIT



GENERAL NOTES:

NOTE 1:

- NEW WALLS
- EXISTING WALLS
- FOUNDATION WALLS AND VENER BRICK EXT. WALLS
- SMOKE DETECTORS:  
PHOTOELECTRIC INTERCONNECTED HARD WIRED BATTERY BACK-UP
- C.O. DETECTORS:  
WIRELESS BATTERY BACK-UP
- FIRE EXTINGUISHER
- EXIT SIGN
- FIRE ALARM CONTROL SYSTEM

NOTE 2:

NEW STAIRS  
-6'-8" MIN. HEADROOM  
-44" MIN. WIDTH  
-11" MIN. TREAD  
-7" MAX. -4" MIN. RISE  
-3-2 x 12'S MIN STAIR STRINGER

NEW HANDRAIL  
-34" MIN. HEIGHT  
-38" MAX. HEIGHT  
-5" MAX. BALUSTER SPACING

NEW GUARDRAIL  
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1 FIRST FLOOR PLAN

RECEIVED  
WINCHESTER ENG DEPT.

2020 AUG 19 PM 2:33



DESIGN OFFICE BOSTON

ALVARO LUCENA,  
INT'L ASSOC. AIA  
37 Mt Vernon St., Boston, MA 02135  
alr@alvarolucena.com  
617-668-9131

PROCESS / REVIEW	DATE
PROPOSED THIRD FLOOR ADDITION	
JULY 31 15	
MARCH 31 17	
APRIL 21 17	
JULY 3 17	
OCT 23 17	
JULY 2 20	

PROFESSIONAL ENGINEER

MAARIJ KIRMANI  
P. S. E.  
COMMONWEALTH OF MASS.  
100 STATE STREET, FLOOR 1000 BOSTON  
02109 MA 02109

PLAN  
BASEMENT PLAN

PROJECT NAME AND LOCATION  
PROPOSED THIRD  
FLOOR ADDITION

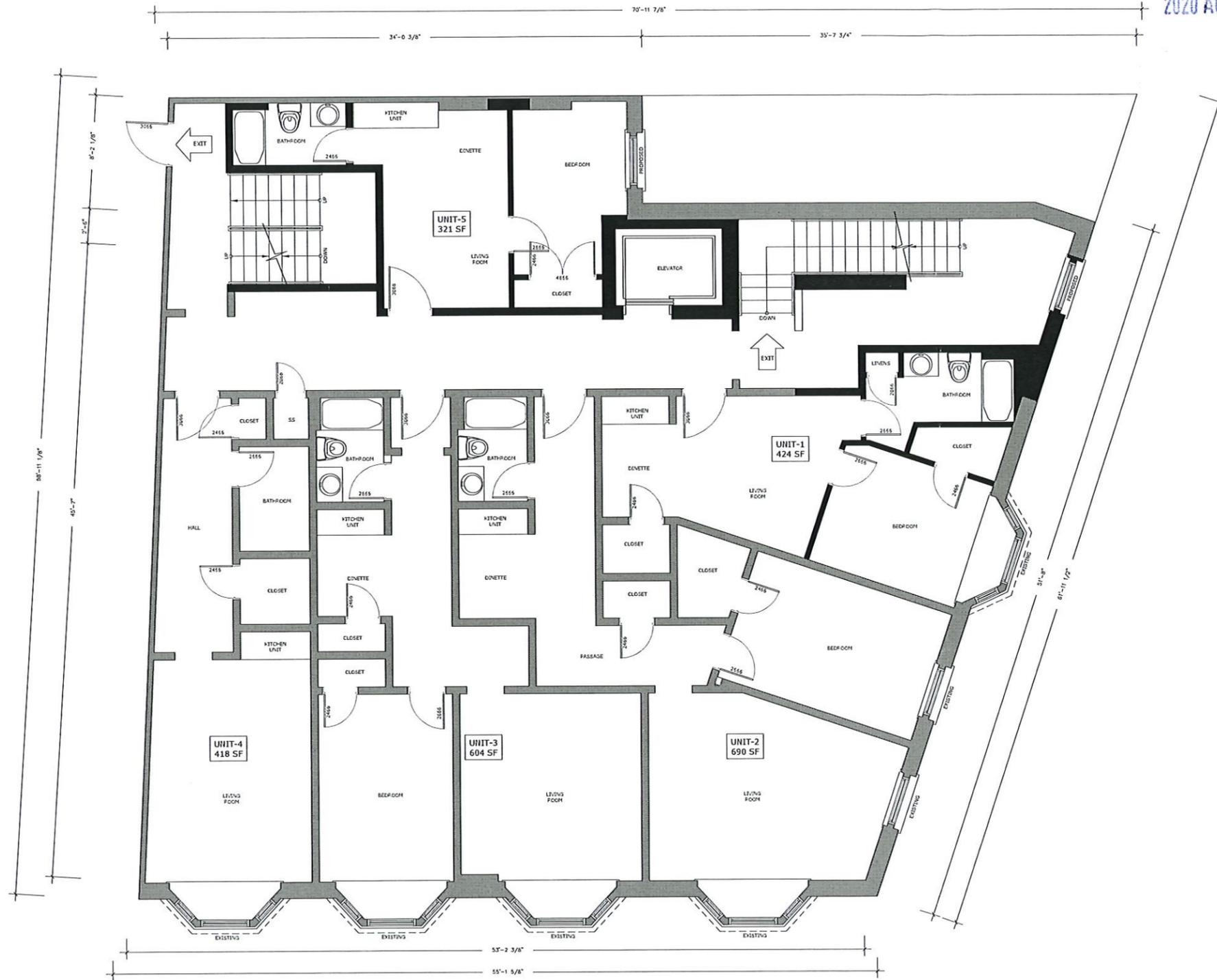
LOCATION  
10-16 MT. VERNON ST,  
WINCHESTER,  
MA 01890



CALL TO NORTH	SCALE
	1" = 1'-0"
DESIGNED BY	A.L.
DATE	JULY 22 15

A3

SHEET



GENERAL NOTES:

NOTE 1:

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PHOTOELECTRIC  
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DESIGN OFFICE BOSTON  
DPA,LLC

ALVARO LUCENA,  
INT'L ASSOC. AIA  
37 Jackson St. Boston, MA 02119  
alvaro@alvarolucena.com  
617-552-0183

PROGRESSIVE REVISIONS
JULY 31 15
MARCH 31 17
APRIL 21 17
JUNE 3 17
OCT 23 15
JUNE 2 20

PROFESSIONAL ENGINEER

MAARIJ KIRMANI  
P. S. E.  
COMMONWEALTH OF MASS  
kirmari@alvarolucena.com / 781-249-1232  
35 GARDEN ST., LYNNFIELD, MA 01903

PLAN  
BASEMENT PLAN

PROJECT NAME AND LOCATION  
PROPOSED THIRD FLOOR ADDITION

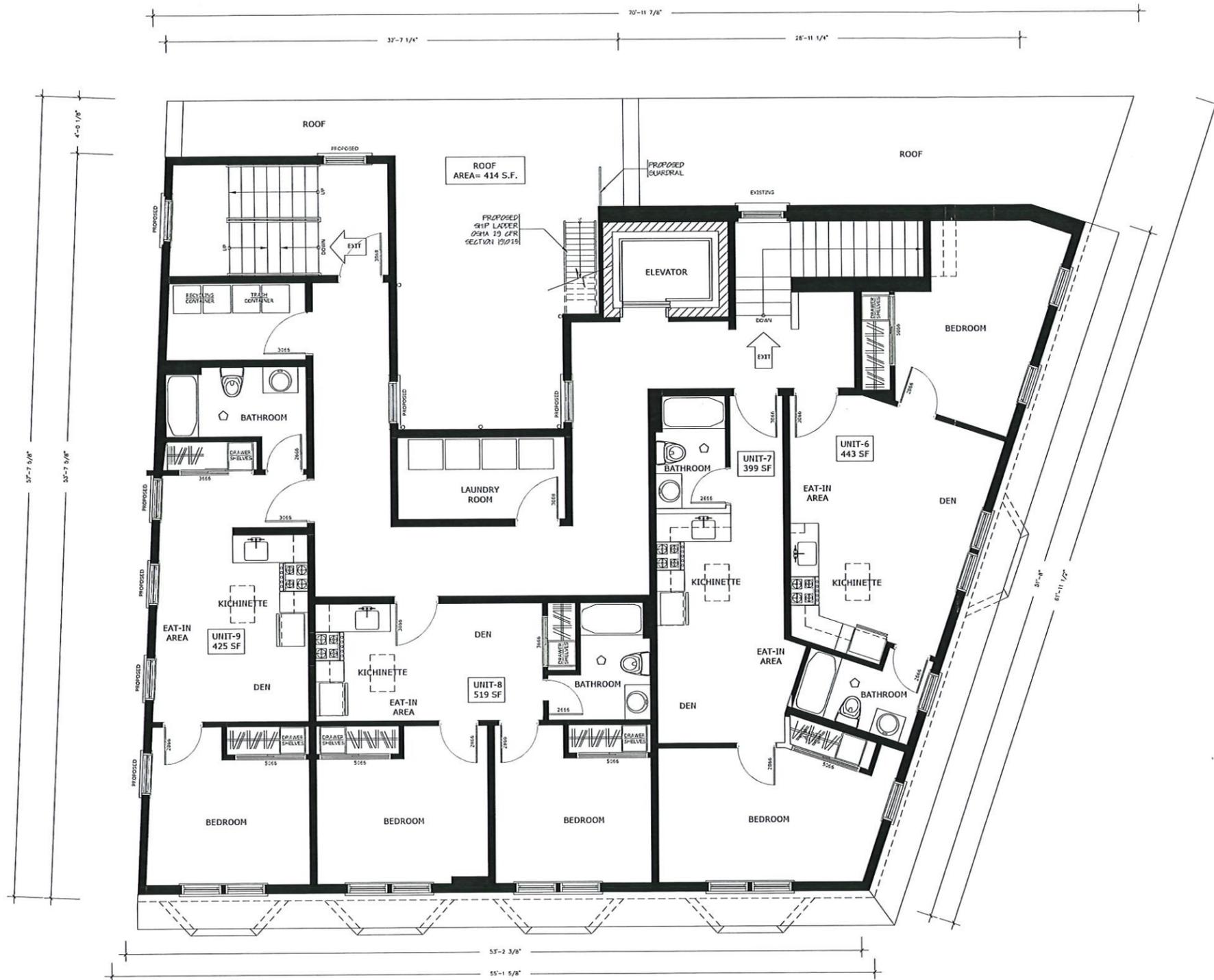
LOCATION  
10-16 MT. VERNON ST,  
WINCHESTER,  
MA 01890



SCALE	1" = 3/8"
DESIGNED BY	AL
CHECKED BY	R-111
DATE	JAN 22 15

A4

5/11/15



GENERAL NOTES:

NOTE 1:

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- ▒ - EXISTING WALLS
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- ⊙ - C.O. DETECTORS:  
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1 PROP. THIRD FLOOR PLAN





ALVARO LUCENA,  
INT'L ASSOC. AIA  
37 Jackson St. Boston MA 02109  
alucena@aloboston.com  
617-524-2113

PROGRESS POINTS REVISIONS	
OCT 22 15	
JAN 21 20	
JAN 22 20	
JUN 2 20	

PROFESSIONAL ENGINEER

MAARIJ KIRMANI  
P. S. E.  
COMMONWEALTH OF MASS.  
KIRMANI@ALOB.COM / 781-243-8339  
25 GARDEN ST., LYNNFIELD, MA 01902

PLAN  
PROPOSED  
FRONT ELEVATION  
(MT. VERNON ST)

PROJECT NAME AND LOCATION  
PROPOSED THIRD  
FLOOR ADDITION

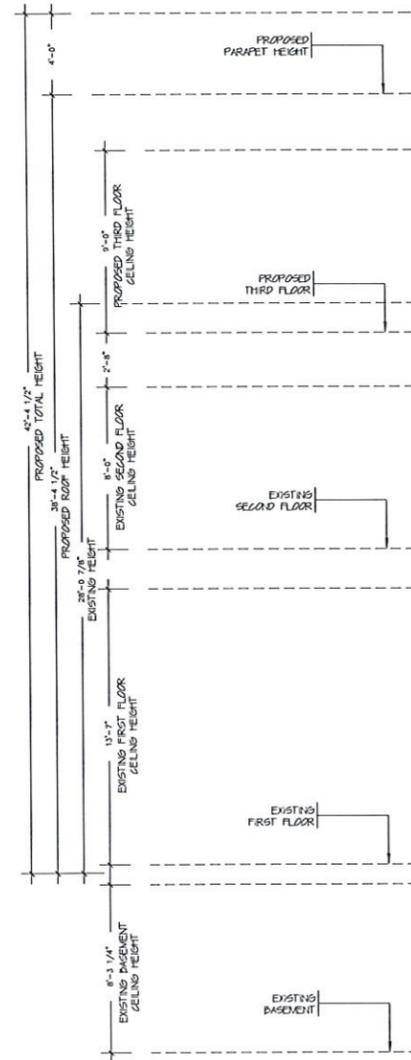
LOCATION  
10-16 MT. VERNON ST,  
WINCHESTER,  
MA 01890



SCALE	1" = 1/4"
DATE	JULY 22 15

A6

SHEET



1 PROPOSED FRONT ELEVATION (MT. VERNON ST)



ALVARO LUCENA,  
INT'L ASSOC. AIA  
31 Jackson St. Boston, MA 02119  
alvarolucena@aia.com  
617-552-2133

PROGRESS DATE REVISIONS	
OCT 21 19	
JAN 21 20	
JUN 21 20	
AUG 22 20	

PROFESSIONAL ENGINEER

MAARUJ KIRMANI  
P. S. E.  
COMMONWEALTH OF MASS.  
1 WASHINGTON ST. / 7TH FLOOR / SUITE 700  
15 GARDEN ST., SEBASTIEN, MA 02472

PLAN  
FRONT ELEVATION  
(WINCHESTER PLACE)

PROJECT NAME AND LOCATION  
PROPOSED THIRD  
FLOOR ADDITION

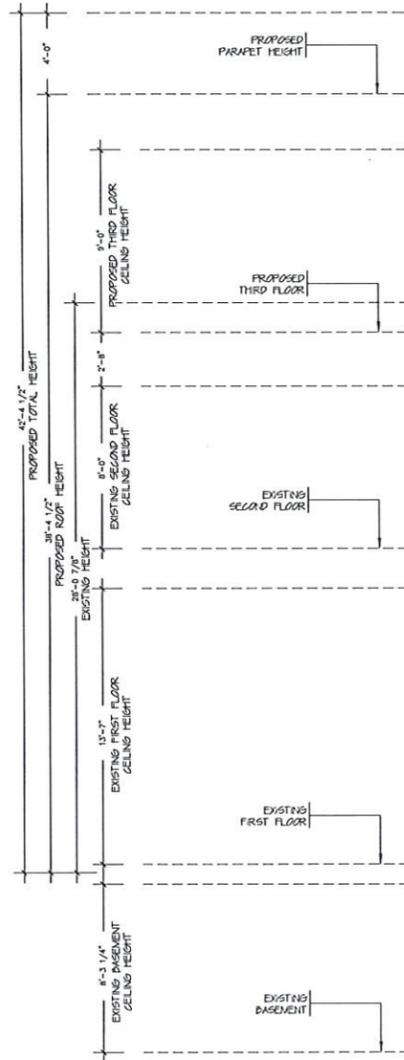
LOCATION  
10-16 MT. VERNON ST.,  
WINCHESTER,  
MA 01890



SCALE	1" = 1/4"
DATE	AUG 22 20

A7

SHEET



1 FRONT ELEVATION - WINCHESTER PLACE



**From:** Adam Marchionda <A.Marchionda@marchionda.com>

**Sent:** Monday, October 5, 2020 6:31:09 AM

**To:** Szekely, Brian <bszekely@winchester.us>

**Subject:** plan set for review

Good morning Brian I have attached a PDF of the updated plan set for your review. I will submit a stamped plan set prior to the meeting but wanted to get something over to you. The revisions include:

1. Monuments set on corners
2. Landscaping plan added trees, reduced driveway widths and added grass strip.
3. Straight saw cut line at lot 1

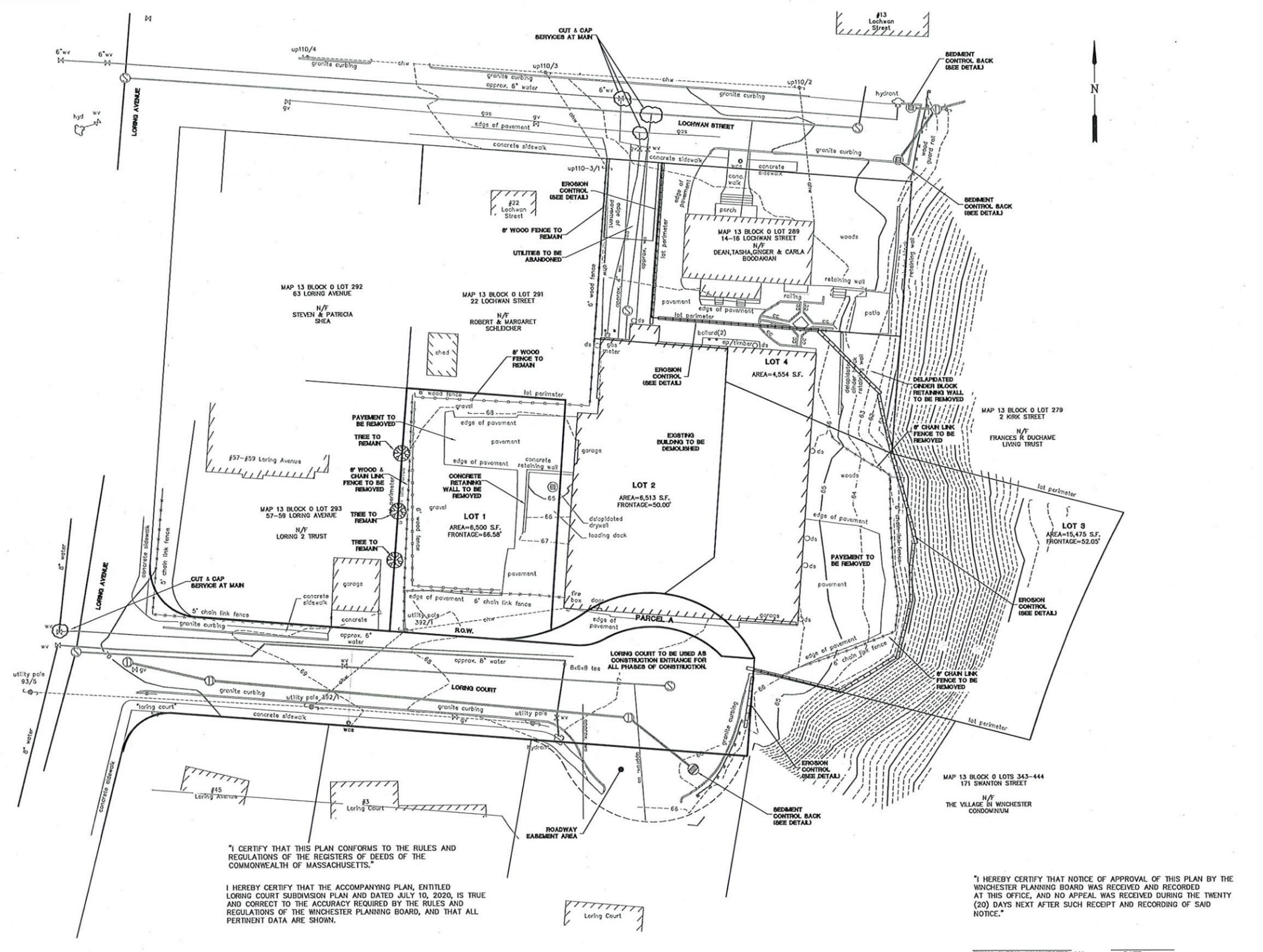
If there are any further comments please let me know and I will revise prior to meeting. I have reached out to the lawyer a few times regarding Lot 4, I have not heard back.

Thank you

Adam







"I CERTIFY THAT THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS."

I HEREBY CERTIFY THAT THE ACCOMPANYING PLAN, ENTITLED LORING COURT SUBDIVISION PLAN AND DATED JULY 10, 2020, IS TRUE AND CORRECT TO THE ACCURACY REQUIRED BY THE RULES AND REGULATIONS OF THE WINCHESTER PLANNING BOARD, AND THAT ALL PERTINENT DATA ARE SHOWN.

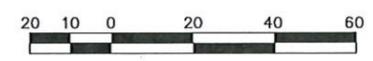
STEPHEN M. MELESCIUC  
REGISTERED LAND SURVEYOR NO. 39049

CRAIG M. MARCHIONDA  
REGISTERED PROFESSIONAL ENGINEER NO. 50607

"I HEREBY CERTIFY THAT NOTICE OF APPROVAL OF THIS PLAN BY THE WINCHESTER PLANNING BOARD WAS RECEIVED AND RECORDED AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE."

TOWN CLERK, WINCHESTER, MA \_\_\_\_\_ DATE \_\_\_\_\_

- NOTES**
- PROPERTY LINE & TOPOGRAPHY IS FROM A FIELD SURVEY BY MARCHIONDA & ASSOCIATES, L.P. CONDUCTED IN MARCH OF 2019.
  - LOCATION OF ALL UTILITIES WERE DERIVED FROM A FIELD SURVEY AND RECORDS RECEIVED FROM THE TOWN OF WINCHESTER, CALL DIGSAFE PRIOR TO ANY EXCAVATIONS.
  - SURVEY DATUM IS NATIONAL AMERICAN VERTICAL DATUM 1988 (NAVD88).



REGISTRY USE ONLY

BEING A MAJORITY OF THE WINCHESTER PLANNING BOARD APPROVED UNDER THE SUBDIVISION CONTROL LAW

DATE

DRW	DSG	CHK	DESCRIPTION	DATE
1			REMOVED LOCHWAN CONSTRUCTION ENTRANCE	9-14-20
2			RELOCATED CONSTRUCTION ENTRANCE	9-10-20
1			ADDED TREES TO REMAIN	9-10-20

**DEMO & EROSION CONTROL PLAN**

**DEFINITIVE SUBDIVISION PLAN LORING COURT ASSESSORS MAP 13 PARCEL 290**

18 LOCHWAN STREET  
WINCHESTER, MA

PREPARED FOR  
**LOCHWAN LLC.**  
27 CAMBRIDGE STREET, SUITE 200  
BURLINGTON, MA 01803-4616

**Marchionda & Associates, L.P.**

Engineering and Planning Consultants

62 Montvale Avenue  
Suite 1  
Stoneham, MA 02180  
TEL: (781) 438-6121  
FAX: (781) 438-9654  
Email: engineering@marichionda.com  
Website: www.marichionda.com









RECEIVED  
WINCHESTER ENG DEPT.

2020 SEP 11 AM 11:42

BOARD OF APPEALS

NOTICE OF PUBLIC HEARING

The WINCHESTER BOARD OF APPEALS will hold a REMOTE PARTICIPATION PUBLIC HEARING on THURSDAY, OCTOBER 15, 2020 at 7:00 P.M. on the following matter:

PETITION NO. 3914 - That of TIM O'DONNELL concerning the property at 138 FOREST STREET, WINCHESTER, MA. The petitioner seeks Site Plan Review under Section 9.5.1 of the Winchester Zoning By-Law so as to demolish the existing single family dwelling and construct a new single family dwelling where the total floor area of the building will be greater than 5,000 square feet. The petitioner also seeks Site Plan Review under Section 9.5.1 of the Winchester Zoning By-Law so as to change the slope over 6% of existing grade of an area more than 500 square feet. The property is located in the RDB (Single Residence) zoning district and contains 30,628 +/- square feet.

WINCHESTER BOARD OF APPEALS

Petition may be viewed on the Board of Appeals web page  
[www.winchester.us](http://www.winchester.us)

Link to the meeting can be found on the Board of Appeals web page and the Government Calendar [www.winchester.us](http://www.winchester.us)

3914

RECEIVED AND FILED

2020 SEP -5 PM 3: 08

TOWN OF WINCHESTER  
BOARD OF APPEAL  
71 MOUNT VERNON STREET  
WINCHESTER, MASSACHUSETTS 01890  
(781) 721-7115

TOWN CLERK  
TOWN OF WINCHESTER

APPLICATION FOR  
ZONING HEARING

FORM 2

Application Date September 1, 2020

The undersigned hereby petitions the Board of Appeals for the following:  
 Appeal     Variance     Special Permit Use     Special Permit/Site Plan Review  
 Special Permit Sign     Special Permit (Pre-existing non-conforming structure)     Site Plan Review

Property Address 138 Forest Street / Winchester, MA 01890    Zoning District B-RDB-10

Area of Lot 30,628 SF    Frontage 103.08'    Street Frontage is

Public Way     Subdivision Control Way     Private Way

Petitioner's Name Tim O'Donnell    Address 138 Forest Street / Winchester, MA 01890

\_\_\_\_\_  
Name \_\_\_\_\_ Address \_\_\_\_\_

\_\_\_\_\_  
Name \_\_\_\_\_ Address \_\_\_\_\_

Brief Description of Work:

Redevelopment of site including demolition of existing house, replaced with new home. Site improvements to front and back yards including grading/filling of back yard, terraced retaining walls and landscape spaces with lawn and pool/jacuzzi areas, outdoor patios with gas fire place and outdoor kitchen, and complementary plantings. Low voltage landscape lighting maybe included for safety (stairs and pool walls) and to accentuate specific trees.

Applicants for an Appeal must complete Form 2A

Applicants for a Variance must complete Form 2B

Applicants for a Special Permit Use must complete Form 2C

Applicants for a Special Permit/Site Plan Review or Site Plan Review must complete Form 2D

Applicants for a Special Permit Sign must complete Form 2E

Applicants for a Special Permit Pre-existing Nonconforming 1 or 2 Family must complete Form 2F

Applicants for a Special Permit Pre-existing Non-conforming Other must complete Form 2G

**FORM 2**

The undersigned is (X) the owner of the subject property; or ( ) the holder of a written option to purchase the subject property, or ( ) the holder of a valid lease to the subject property. (Written authorization from the property owner must be submitted with the other application documents when the applicant is not the record owner of the property).

Record title to the subject property stands in the name (s) Tim O'Donnell

Address of owner of record 138 Forest Street / Winchester, MA 01980

Title Reference:

(Unregistered land) Middlesex County Registry of Deeds; Book 62232, Page 113

(Registered land) Land Court Certificate of Title No. 152053 Book 62232,

Page 113 Date of Recording: 07/12/2013

State briefly what building and structures currently exist on the premises:

Single family home and small dilapidated timber walls in the back yard

Attorney, agent, or other representative acting for petitioner:

Name \_\_\_\_\_ Address \_\_\_\_\_

Name \_\_\_\_\_ Address \_\_\_\_\_

Written evidence of agent's standing to represent petitioner may be requested.

Signed as a statement of fact under the pains and penalties of perjury, this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

SIGNATURE [Signature]  
(Petitioner/Agent)

SIGNATURE \_\_\_\_\_  
(Property Owner/Agent)

Address 138 Forest St

Address \_\_\_\_\_

Tel No. 617 797 6629

Tel No. \_\_\_\_\_

Email address simplyod@gmail.com

Email address \_\_\_\_\_

*Note: Do not attempt to discuss the merits of your case with any member of the Board of Appeal at any time after filing this application and prior to the hearing thereon.*



Town of Winchester

MIDDLESEX COUNTY, MASSACHUSETTS

BOARD OF APPEALS

FORM 2D

TOWN HALL  
71 MOUNT VERNON STREET  
WINCHESTER, MASSACHUSETTS 01890  
(617) 721-7115

Date: September 1, 2020

To the Board of Appeal of the Town of Winchester:

The undersigned hereby petitions the Board of Appeal for the relief specified below.

Property Location 138 Forest Street / Winchester, MA Lot # Map 1 Block 20

Zoning District: B-RDB-10 Area of Lot: 30,628 SF Frontage: 103.08'

Street Frontage is:  Public Way  Subdivision Control Way  Private Way

Owner of Record: Timothy P. and Jacqueline O'Donnell

Mailing Address: 138 Forest Street / Winchester, MA 01980 Tel. 617-797-6629

Date Deed Recorded: 07/12/2013 (Complete Deed Reference Below)

Middlesex South Registry of Deeds: Book 62232 Page 113

Middlesex South Registry District of the Land Court as Cert. of Title No. 152053

Present Use: Single family home

Proposed Use: Single family home

\*\*\*\*\*  
Relief Desired:

- Appeal (MGL Chp. 40A, Sect. 8), attach copy of decision or order being appealed.
- Special Permit in accordance with Zoning By-Law Sect. \_\_\_\_\_
- Special Permit/Site Plan Review in accordance with Zoning By-Law Sect. 5.2/9.5
- Dimensional Variance (MGL chp. 40A, Sect. 10) from Zoning By-Law Sect. \_\_\_\_\_
- Sign Permit under Chp. 9 of the General By-Laws of the Town of Winchester

Describe change, extension, alterations or modifications, etc. requested.  
Demolish and replace existing house with new. Site and landscape improvements including:

Terraced walls. New lawn and pool areas. Hardscape elements—fireplace, kitchen, patios, small seat walls

\*\*\*\*\*  
Petitioner: Tim O'Donnell Signature: [Handwritten Signature]

Mailing Address: 138 Forest Street / Winchester, MA 01980 Tel. 617-797-6629

Petitioner is:  Owner  Tenant  Licensee  Binding Optionee

Petition must be fully completed, typewritten or plainly printed in ink.



## Memorandum

To: Beth Rudolph, P.E.  
Town Engineer  
71 Mt. Vernon St.  
Lower Level  
Winchester, MA 01890

Date: August 27, 2020

Project #: 14925.00

From: Nicholas Skoly, PE

Re: 138 Forest Street Stormwater Analysis

On behalf of Tim O'Donnell, Vanasse Hangen Brustlin, Inc. (VHB) is pleased to submit the following memorandum to document the adherence to the Winchester Stormwater Regulations for the residential redevelopment at 138 Forest Street. The proposed stormwater management infrastructure includes best management practices (BMP's) for maintaining stormwater runoff rates and volumes and has been developed in compliance with the Massachusetts Stormwater Management Standards and the Ton of Winchester Storm Drain regulations, as applicable.

A HydroCAD model, using TR-20 methodology, was developed to evaluate the site's existing and proposed stormwater runoff response for the 2-, 10-, 25-, and 100-year storm events. As summarized in the following sections, the analysis for these storm events indicates that there will be no increase in peak discharge rates or runoff volumes resulting from the additional impervious area.

### Project Description

Tim O'Donnell (Client) is proposing to redevelop his current residential property including tearing the existing house down and building a new large residential single family home with related site improvements (the Project) located at 138 Forest Street, Winchester, MA 01890 (the Site). VHB understands that Mr. O'Donnell (Owner) intends to demolish the existing house in order to redevelop the site with a new single family residence with associated landscape improvements including: Enhanced landscaping, new driveway, pool/jacuzzi, pool deck, walls/terraces, walkways, landscape lighting, planting areas and irrigation.

### Stormwater Approach

The existing site currently grades from south to north with a steep slope. Grades on the site range from 70' on the southern edge (adjacent to Forest Street) to 45' on the northern property line. The site is limited to a residential building with sidewalks, driveway, parking, and landscaping. There are no existing stormwater controls in place and the site drains overland to the north. The existing building is proposed to be demolished and a new house constructed in its place. In addition to the house, a sidewalk, patios, driveway, a pool, and landscape improvements are proposed on the site. The proposed plan creates an increase in impervious area of approximately 5,150 sf (counting the pool as impervious surface)

The stormwater runoff in the proposed condition will be collected and routed through subsurface infiltration (leaching basins and stormtech infiltration chambers). In larger storms the subsurface systems will overflow and drain overland to the north, maintaining the existing drainage patterns. Based on NRCS soils and test pits performed on site, the soil is well graded sand and classified as A soils. The geotechnical engineer performed infiltration testing and observed an infiltration rate of 15.6 in/hr. Per the MA DEP stormwater regulations the design utilizes for an infiltration rate of 7.8

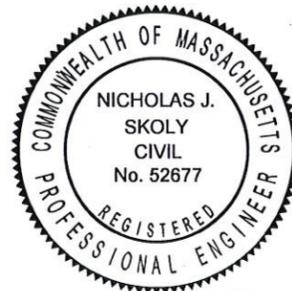
in/hr, half of the observed rate. The subsurface infiltration systems provide for approximately 985 cf of static storage which is equivalent to 1.1" over the impervious area on site.

**Hydrologic Analysis**

The rainfall runoff response of the Site under existing and proposed conditions was evaluated for storm events with recurrence intervals of 2-, 10-, 25-, and 100-years. Runoff coefficients for the pre- and post-development conditions, were determined using NRCS Technical Release 55 (TR-55) methodology as provided in HydroCAD. The HydroCAD model is based on NRCS Technical Release 20 (TR-20) Model for Project Formulation Hydrology. Printouts of the HydroCAD analyses are attached. Tables 1 and 2 below presents a summary of the existing and proposed conditions peak flow rates and runoff volumes.

**Table 1  
 Peak Discharge Rates (cubic feet per second)**

Design Point		2-year	10-year	25-year	100-year
Design Point 1:					
OffSite North					
	Existing	0.28	1.39	2.27	3.81
	Proposed	0.0	1.16	1.24	1.41



*Nicholas J. Skoly*

**Table 2  
 Runoff Volumes (cubic feet)**

Design Point		2-year	10-year	25-year	100-year
Design Point 1:					
Offsite North					
	Existing	1,088	3,549	5,492	8,904
	Proposed	1	1,222	2,708	5,130

**Stormwater Management Summary**

The stormwater management design includes BMPs for maintaining stormwater runoff rates and volumes and has been developed with guidance provided by the DEP and in accordance with the applicable Town and State requirements listed in previous sections of the memo. A hydrologic model was developed to evaluate the Site's existing and proposed stormwater runoff response and the results of the analysis indicate that the site has been designed such that there will be no increase in peak discharge rates or volumes between the pre- and post-development conditions for the storm events studied. In addition to the rates and volumes, the project has significantly increased water quality through infiltration compared to the untreated existing condition.

**ATTACHMENTS:**

**Supporting Calculations:**

Hydrologic Analysis

Operations & Maintenance Plan

Water Quality and Drawdown Calculations



September 1, 2020

Janine Viarella  
Building Department/Board of Appeals  
Town of Winchester  
71 Mt. Vernon Street  
Winchester, MA 01890

RE: 138 Forest Street – Special Permit/Site Plan Review

Attention Janine:

On behalf of the Client, Tim and Jacqueline O'Donnell, please accept our Application submission for 138 Forest Street including Forms 2/2D, Stormwater Analysis, and Site/Architecture Plans. We have mailed a hardcopy as stated in the Transmittal along with the digital PDF as required by the Town.

Tim and Jaqueline O'Donnell have been residents of Winchester for the past 7 years. They have three small children with limited space within the house and their exterior yard space poses many hazards for them. The front lawn is open to Forest Street and a steep slope with rotted timbers make up the back yard. Stormwater currently drains toward their foundation and large older trees loom over their house. Hemlock trees on the west side of their property have very high branching providing no effective screening. The Hemlocks are also highly susceptible to Hemlock Wooly Adelgid and most likely will need to be removed in the future.

The Client would now like to improve their property to provide a safer environment for their children to play and their curb appeal to complement the neighborhood. And improved grading of the back yard would allow for a more level scenario with their neighbor's backyards. The Client has initiated the services of VHB and other qualified subconsultants so they can integrate the project thoughtfully with sound technical guidance to support the design. Terraces have been proposed to transition the grading attractively and create functional spaces and enhancing views out and into the property. Materials for walls and stairs will be in scale with the residential character and complement the architecture of their new home. New mixed plantings (deciduous and evergreens) will be installed to attractively integrate the terraces into the landscape while also provide planted buffers to screen views into the property and out.

Engineers | Scientists | Planners | Designers

101 Walnut Street  
PO Box 9151  
Watertown, Massachusetts 02471  
P 617.924.1770  
F 617.924.2286



The design is reinforced with technical guidance of qualified professionals to assure we have provided a sound design according to Town requirements including: Professional survey (VHB), stormwater design and analysis (VHB) and Geotechnical tests/data (LGCI) and the walls will be engineered by a reputable wall manufacturer. Our planting plan incorporates native species blended with durable (non-invasive) species to provide an attractive display of flowers throughout the growing season while also providing attractive screening all year round.

Landscape lighting (shown on the digital PDF, Sheet L-3) will be used to enhance safe transitions between the various terraces and spaces while incorporating a tasteful low level of LED glow to various trees and landscape features. Fixtures will either be directed downward (Dark-sky) or equipped with hoods/shields to specifically direct light or glow away from neighbors. We will consult our lighting design with lighting specialist Eric Mitchell of Northeast Nursery who we have worked with for many years, to assure our lighting design will be attractive, soft and safe.

We would like to note that our PDF (digital submission) also contains the full 75-page stormwater report with calculations, supporting data and O&M plan. We will also be able to provide any other geotechnical data once we receive the full report from LGCI.

Thank you for your time to review our submission and we look forward to answering any of your questions at the next earliest available meeting time.

Warm regards,

A handwritten signature in black ink, appearing to read "E. Bednarek".

Erik J. Bednarek

Landscape Architecture Group Leader



TOWN OF WINCHESTER  
ENGINEERING DEPARTMENT  
71 MT. VERNON STREET, WINCHESTER, MA  
PHONE 781-721-7120

**TO:** Zoning Board of Appeals

**FROM:** Beth Rudolph, PE – Town Engineer

**DATE:** October 2, 2020

**RE:** Petition 3914 – 138 Forest Street

The Engineering Department has reviewed the Special Permit application for the above-referenced property, which includes the demolition of the existing single-family home, and construction of a new single-family home where the total floor area of the building will be greater than 5000 square feet. The petitioner also seeks Site Plan Review under Section 9.5.1 of the Zoning Bylaw so as to change the slope over 6% of existing grade of an area more than 500 square feet.

The Engineering Department offers the following comments on this material:

- (1) In accordance with Town policy, the stormwater analysis should be recalculated using the following Cornell rainfall amounts:

Storm Event	24-hour precipitation (inches)
2-year	3.2
10-year	4.9
25-year	6.2
100-year	8.9

- (2) The drainage calculations show that the roof runoff from the rear of the house will be directed to the infiltration system; however, there is no information on the plans indicating where the roof leaders will be tied in, as with LB-1 and 2. Additional information should be provided.
- (3) The bottom elevation of the leaching catch basin should be added to the plans.
- (4) A clean-out or other structure should be added at the bend in the drain pipe running along the east side of the property from LB-2.
- (5) The connection from the catchbasin in the patio at the rear of the house to the drain pipe coming from LB-1 should be made at a manhole. Also, is this a regular or leaching catchbasin? No information is provided in the plans, and the plans only include details for leaching catchbasins.

- 
- (6) The Engineering Department recommends that all drainage pipes on the property be a minimum of 12-inches in diameter. The plan currently calls for most pipes to be 6-inches.
- (7) The plans show the bottom of the infiltration system to be located at elevation 50', which is approximately 5-feet above the bottom of the retaining wall at the rear of the property that extends from elevation 45 to 55'. The Engineering Department is concerned that water will break-out through the wall before infiltrating. The applicant should evaluate ways to prevent such break-out conditions.
- (8) The Engineering Department is concerned with the outlet design for the infiltration system at the rear of the property. The drain pipe running along the western edge of the property appears to split at AD-3 with water being directed first to the infiltration system through a 12-inch pipe, and second to an outfall through a 6-inch pipe. Although no inverts are given where the 12-inch pipe enters the infiltration system, the plan shows that the pipe slopes in that direction. The HydroCAD calculations show the infiltration system with a 6-inch outlet at elevation 53.3', however, in order to get to that outlet, the flow would have to back up the 12-inch adverse slope pipe. The Engineering Department recommends reconfiguring the drainage on the western side of the property so that it connects directly into the infiltration system, with a separate outlet pipe directed away from the infiltration system.
- (9) The Engineering Department is concerned with possible downstream impacts from the proposed 6-inch outfall on the western edge of the property. We recommend that the applicant install a level spreader in this area to dissipate any flows and reduce the chance of downstream erosion. A detail should be provided.
- (10) The memo provided by VHB titled "138 Forest Street Stormwater Analysis" references infiltration testing and test pits performed on site by a geotechnical engineer. The applicant should provide the location and details of that soil testing information.

# Site Plans

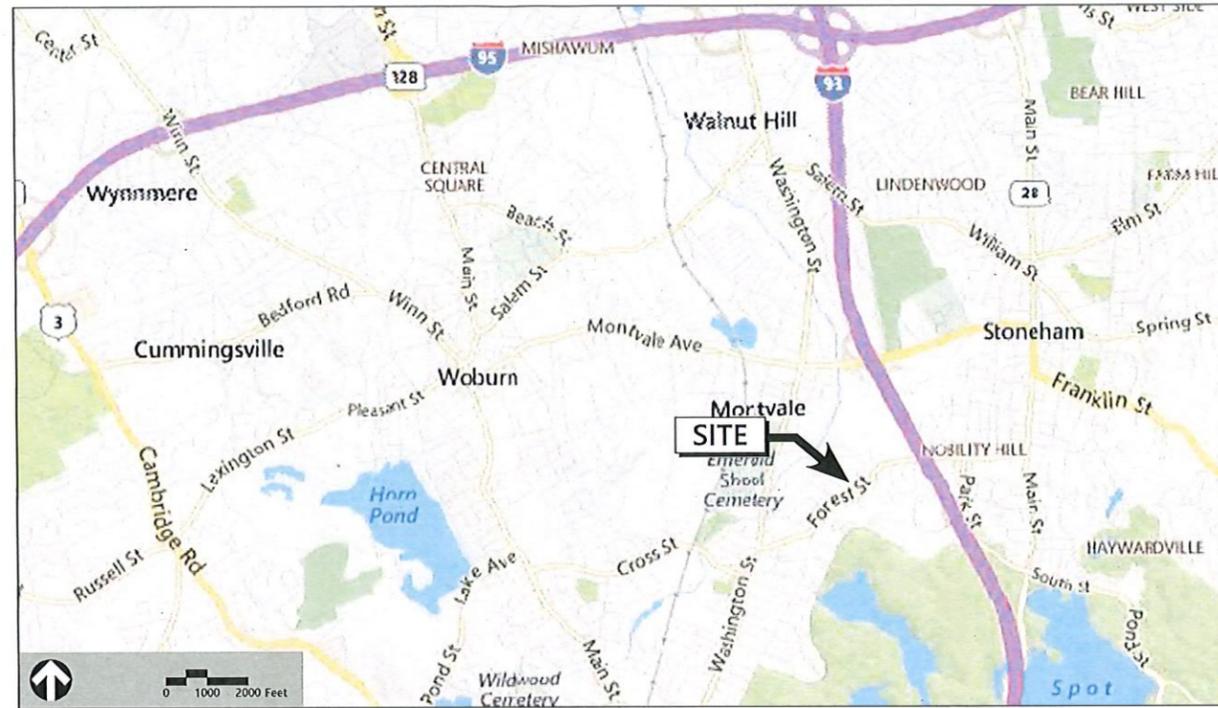
Issued for Permitting  
 Date Issued September 1, 2020  
 Latest Issue September 1, 2020

**O'Donnell Residence**  
 138 Forest Street  
 Winchester, MA 01890

## Owner / Applicant

Timothy & Jacqueline O'Donnell  
 138 Forest Street  
 Winchester, MA, 01890

## Assessor's Map: Map 1 Block 20



### Sheet Index

No.	Drawing Title	Latest Issue
L-1	Existing Conditions and Tree Removal Plans	9/1/2020
L-2	Existing Conditions Photos	9/1/2020
L-3	Layout & Materials Plan	9/1/2020
L-4	Grading and Drainage Plan	9/1/2020
L-5	Planting Plan	9/1/2020
L-6	Site Details	9/1/2020
L-7	Site Details	9/1/2020
L-8	Site Details	9/1/2020
L-9	Outdoor Kitchen	9/1/2020
L-10	Planting Details	9/1/2020

### Reference Drawings

No.	Drawing Title	Latest Issue
A-1	Front & Left Elevations	8/26/2020
A-2	Rear & Right Elevations	8/26/2020
A-3	First Floor Plan	8/26/2020
A-4	Second Floor Plan	8/26/2020
A-5	Basement Plan	8/26/2020



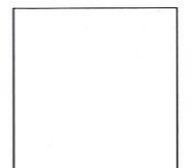
101 Walnut Street  
 PO Box 9151  
 Watertown, MA 02471  
 617.924.1770

### Architect

DNA-Architecture  
 745 Boylston Street  
 7th Floor  
 Boston, MA 02116  
 781.718.8009

### Geotech

Lahlaf Geotechnical Consulting, Inc.  
 100 Chelmsford Road  
 Suite 2  
 Billerica, MA 08162  
 978.330.5912





101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

**General Notes**

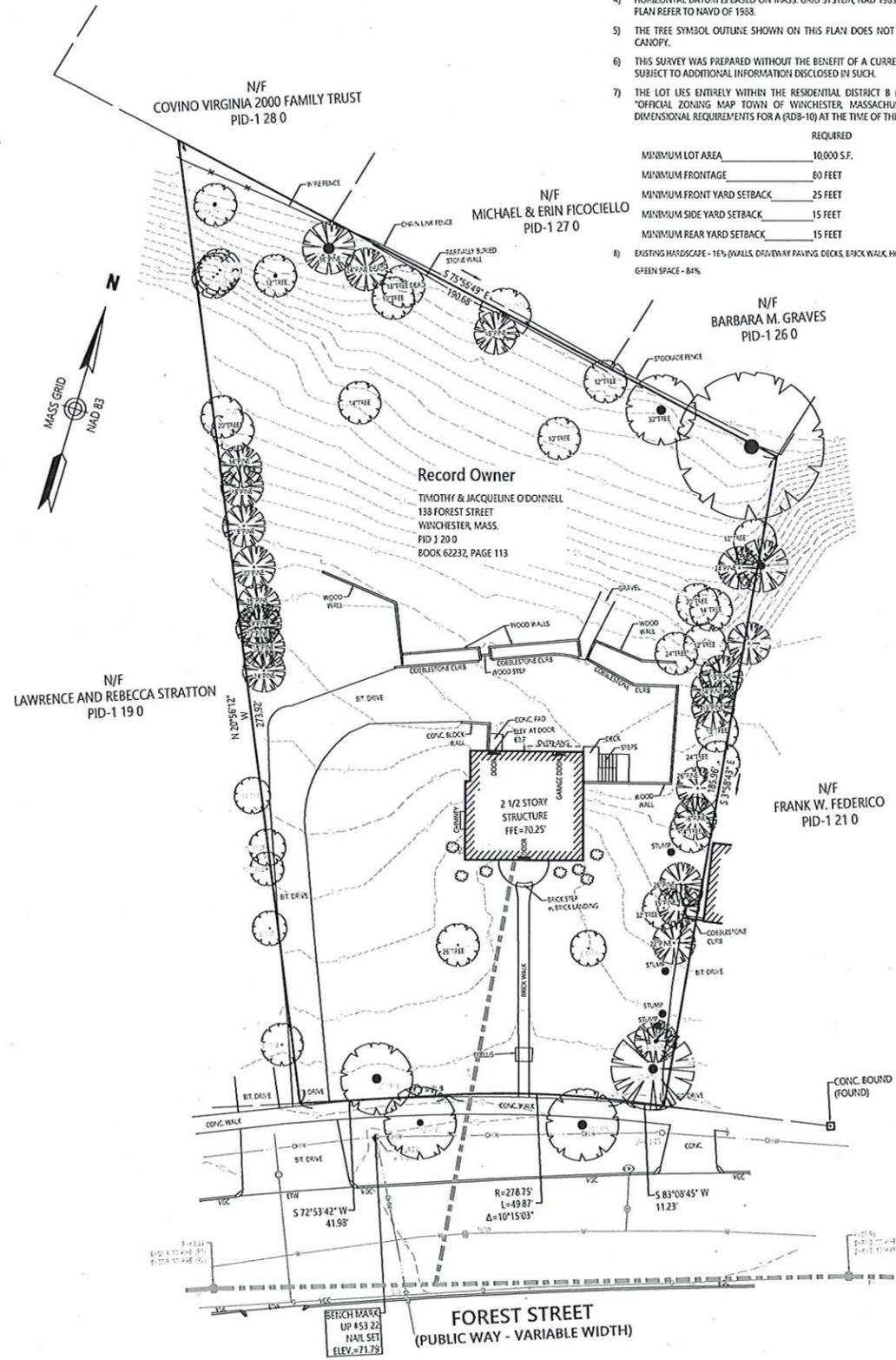
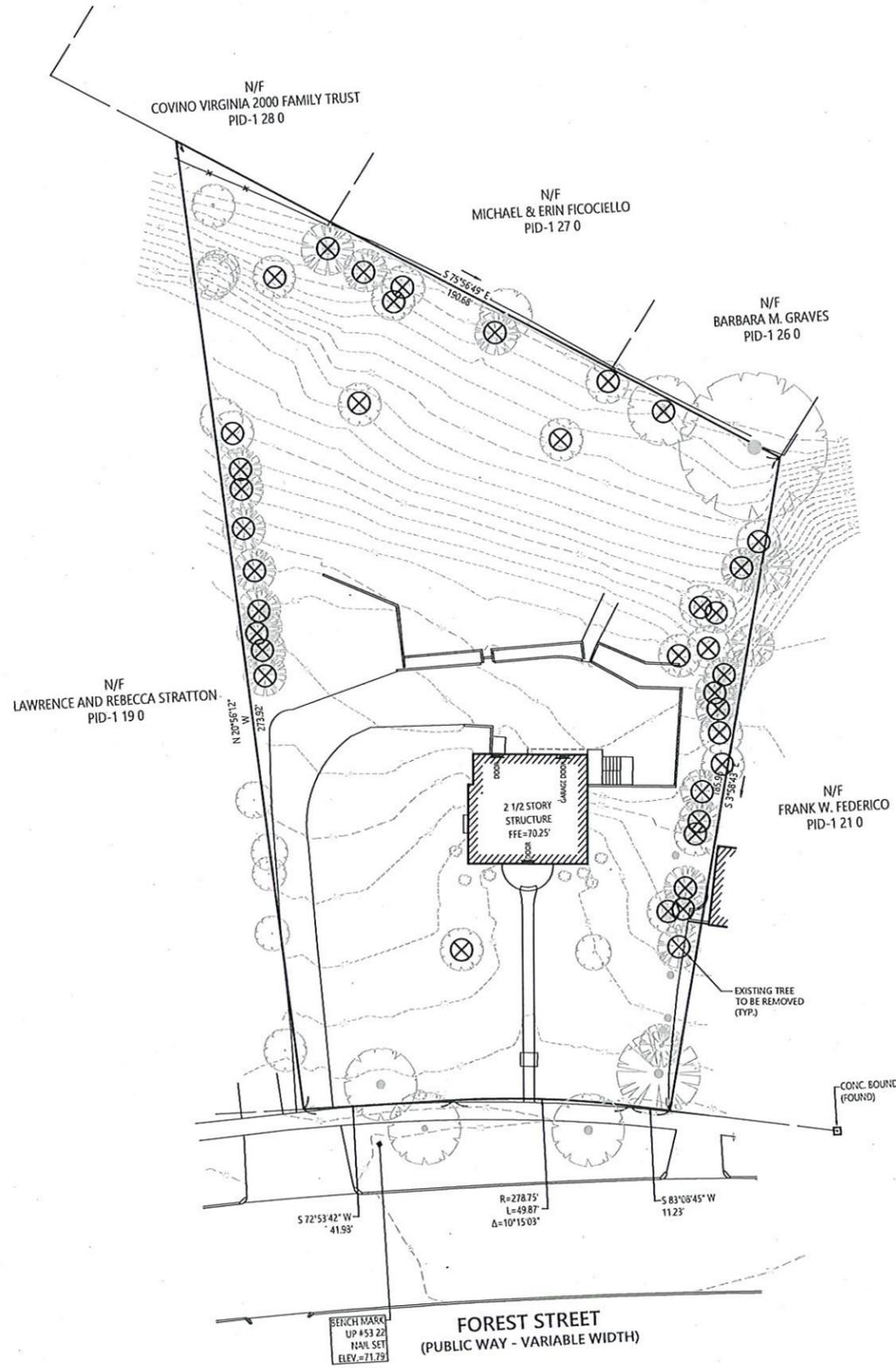
- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY VHB, INC. IN MAY, 2020 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY VHB, INC. IN MAY, 2020.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE TREE SYMBOL OUTLINE SHOWN ON THIS PLAN DOES NOT REPRESENT THE ACTUAL TREE CANOPY.
- 6) THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT AND MAY BE SUBJECT TO ADDITIONAL INFORMATION DISCLOSED IN SUCH.
- 7) THE LOT LIES ENTIRELY WITHIN THE RESIDENTIAL DISTRICT B (RDB-10) AS SHOWN ON THE "OFFICIAL ZONING MAP TOWN OF WINCHESTER, MASSACHUSETTS, UPDATED FALL, 2018. DIMENSIONAL REQUIREMENTS FOR A (RDB-10) AT THE TIME OF THIS SURVEY ARE:

REQUIRED	REQUIRED
MINIMUM LOT AREA	10,000 S.F.
MINIMUM FRONTAGE	80 FEET
MINIMUM FRONT YARD SETBACK	25 FEET
MINIMUM SIDE YARD SETBACK	15 FEET
MINIMUM REAR YARD SETBACK	15 FEET

- 8) EXISTING HARDSCAPE - 15% (WALLS, DRIVEWAY PAVING, DECKS, BRICK WALK, HOUSE) GREEN SPACE - 84%.

**Legend**

- ⊗ DRAIN MANHOLE
- ⊠ CATCH BASIN
- ⊙ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊖ TELEPHONE MANHOLE
- MANHOLE
- ⊙ HAND HOLE
- ⊕ WATER GATE
- ⊖ FIRE HYDRANT
- ⊙ GAS GATE
- ⊕ BOLLARD w/LIGHT
- ⊖ STREET SIGN
- ⊙ LIGHT POLE
- ⊕ UTILITY POLE
- ⊖ GUY POLE
- ⊙ GUY WIRE
- ⊕ MONITORING WELL
- ⊖ FLOOD LIGHT
- ⊙ WELL
- ⊕ MARSH
- F.F.E. = 45.27' FINISHED FLOOR ELEVATION
- CNO COULD NOT OPEN
- HPV NO PIPES VISIBLE
- DYL DOUBLE YELLOW LINE
- DWL DASHED WHITE LINE
- SYL SINGLE YELLOW LINE
- LSA LANDSCAPED AREA
- EOP EDGE OF PAVEMENT
- CC CONCRETE CURB
- VGC VERTICAL GRANITE CURB
- SGE SLOPED GRANITE EDGE
- BE BITUMINOUS BERM
- IBL BITUMINOUS CURB
- GR GUARD RAIL
- CLF CHAIN LINK FENCE
- DLN DRAINAGE LINE
- SLN SEWER LINE
- OWH OVERHEAD WIRE
- ULN UNDERGROUND ELECTRIC
- TLN TELEPHONE LINE
- GLN GAS LINE
- WLN WATER LINE
- SWL STONE WALL
- TLN TREE LINE
- 100'RA 100-FT BUFFER ZONE
- 100'FA 100-FT RIVER FRONT AREA
- 200'RA 200-FT RIVER FRONT AREA
- ELM-100 LIMIT MEAN ANNUAL HIGH WATER
- WFT-100 VEGETATED WETLAND BOUNDARY



**O'Donnell Residence**  
138 Forest Street  
Winchester, Massachusetts

No.	Revision	Date	App'd.

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
**Permitting** Sept. 1, 2020

Not Approved for Construction  
Drawing Title: **Existing Conditions Plan and Tree Removal Plan**

Drawing Number: \_\_\_\_\_  
Sheet 1 of 10  
Project Number: 14925.00  
Signature: \_\_\_\_\_  
Professional Seal: \_\_\_\_\_



1 - Driveway



2 - Front of house



3 - Right property line

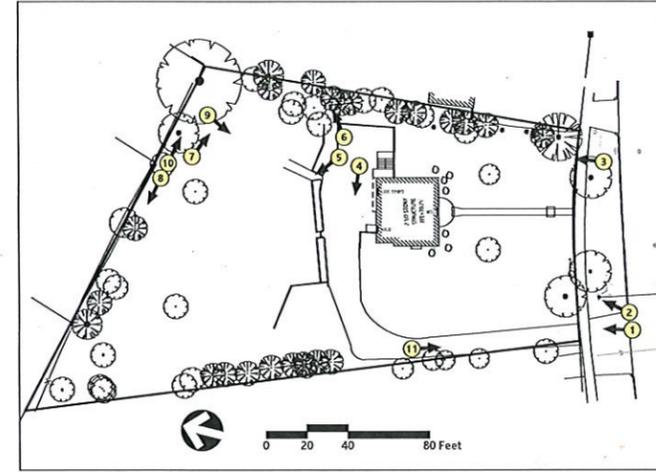


Photo Key Plan



4 - Existing parking area



5 - Existing back yard slope



6 - Right view to neighbor



7 - Right view to neighbor

**O'Donnell Residence**  
138 Forest Street  
Winchester, Massachusetts

No.	Revision	Date	App'd.

Designed by	Checked by
Issued for	Date
Permitting	Sept. 1, 2020

Not Approved for Construction

Existing Conditions Photos

Drawing Number

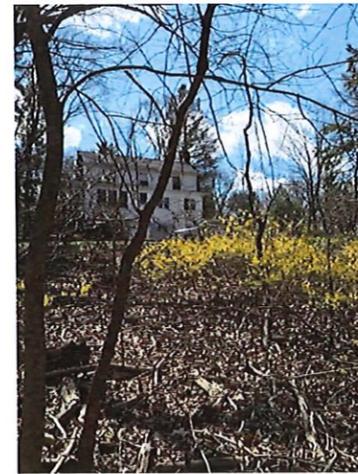
L-2

Sheet 2 of 10

Project Number 14925.00



8 - Northwest corner of property



9 - View back to house



10 - Northeast corner view



11 - View up driveway

Updated 9/15

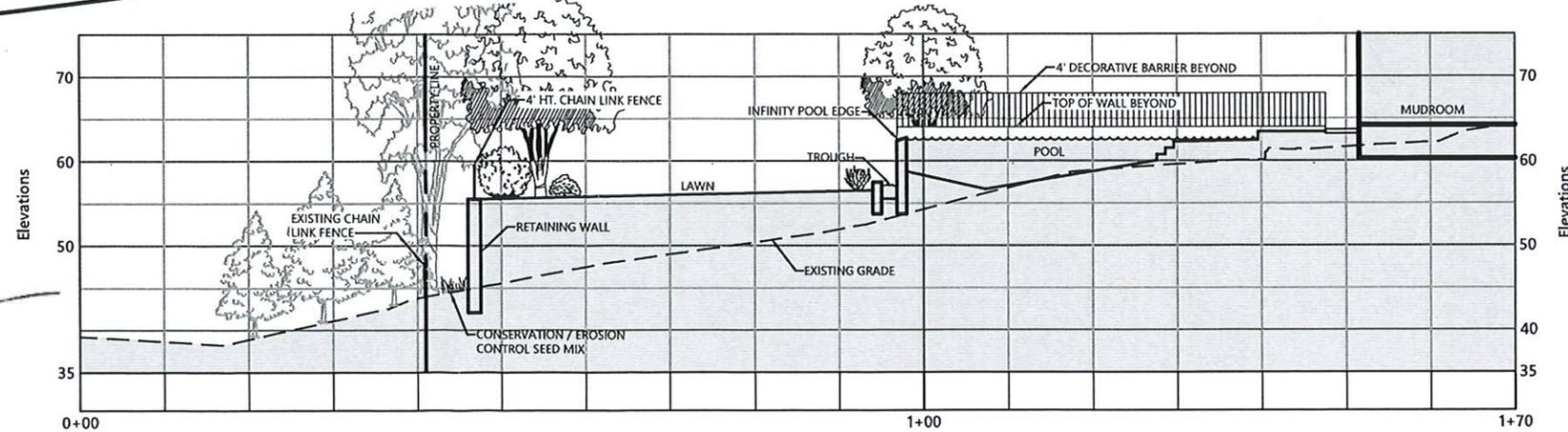
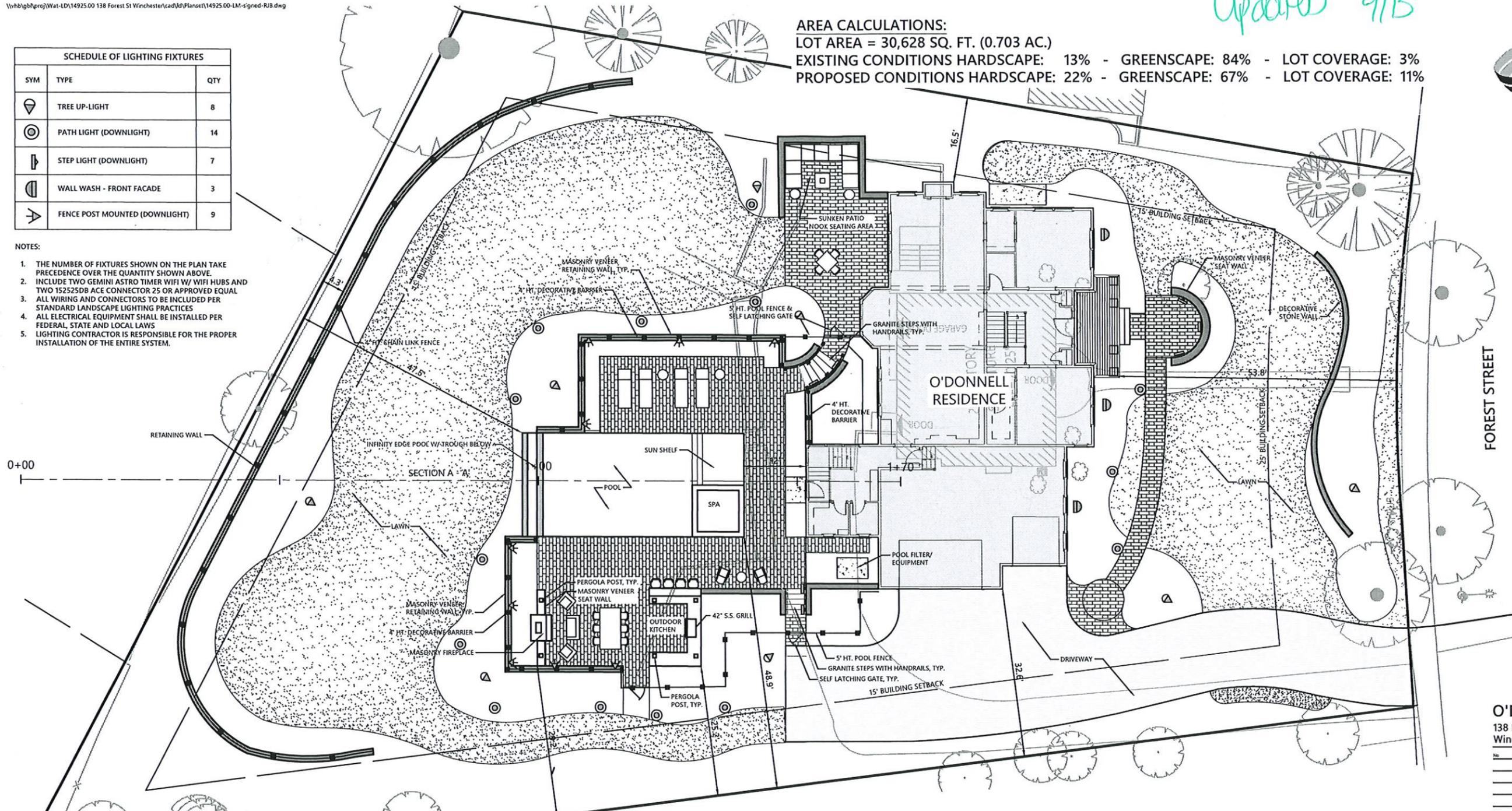


101 Walnut Street  
PO Box 9151  
Watertown, MA 02471  
617.924.1770

**AREA CALCULATIONS:**  
 LOT AREA = 30,628 SQ. FT. (0.703 AC.)  
 EXISTING CONDITIONS HARDSCAPE: 13% - GREENSCAPE: 84% - LOT COVERAGE: 3%  
 PROPOSED CONDITIONS HARDSCAPE: 22% - GREENSCAPE: 67% - LOT COVERAGE: 11%

SCHEDULE OF LIGHTING FIXTURES		
SYM	TYPE	QTY
⬇	TREE UP-LIGHT	8
⊙	PATH LIGHT (DOWNLIGHT)	14
⬇	STEP LIGHT (DOWNLIGHT)	7
⬆	WALL WASH - FRONT FACADE	3
⬆	FENCE POST MOUNTED (DOWNLIGHT)	9

- NOTES:
1. THE NUMBER OF FIXTURES SHOWN ON THE PLAN TAKE PRECEDENCE OVER THE QUANTITY SHOWN ABOVE.
  2. INCLUDE TWO GEMINI ASTRO TIMER WIFI W/ WIFI HUBS AND TWO 152525DB ACE CONNECTOR 25 OR APPROVED EQUAL
  3. ALL WIRING AND CONNECTORS TO BE INCLUDED PER STANDARD LANDSCAPE LIGHTING PRACTICES
  4. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED PER FEDERAL, STATE AND LOCAL LAWS
  5. LIGHTING CONTRACTOR IS RESPONSIBLE FOR THE PROPER INSTALLATION OF THE ENTIRE SYSTEM.



COMMONWEALTH OF MASSACHUSETTS  
 REGISTERED PROFESSIONAL LAND SURVEYOR  
 RUSSELL J. BOUSQUET  
 NO. 35389

*Russell J. Bousquet*



0 10 20 40 Feet

**O'Donnell Residence**  
 138 Forest Street  
 Winchester, Massachusetts

No.	Revision	Date	App'd

Prepared by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
 Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
 Permitting \_\_\_\_\_ Sept. 1, 2020

Not Approved for Construction  
 Layout, Materials  
 and Plot Plan

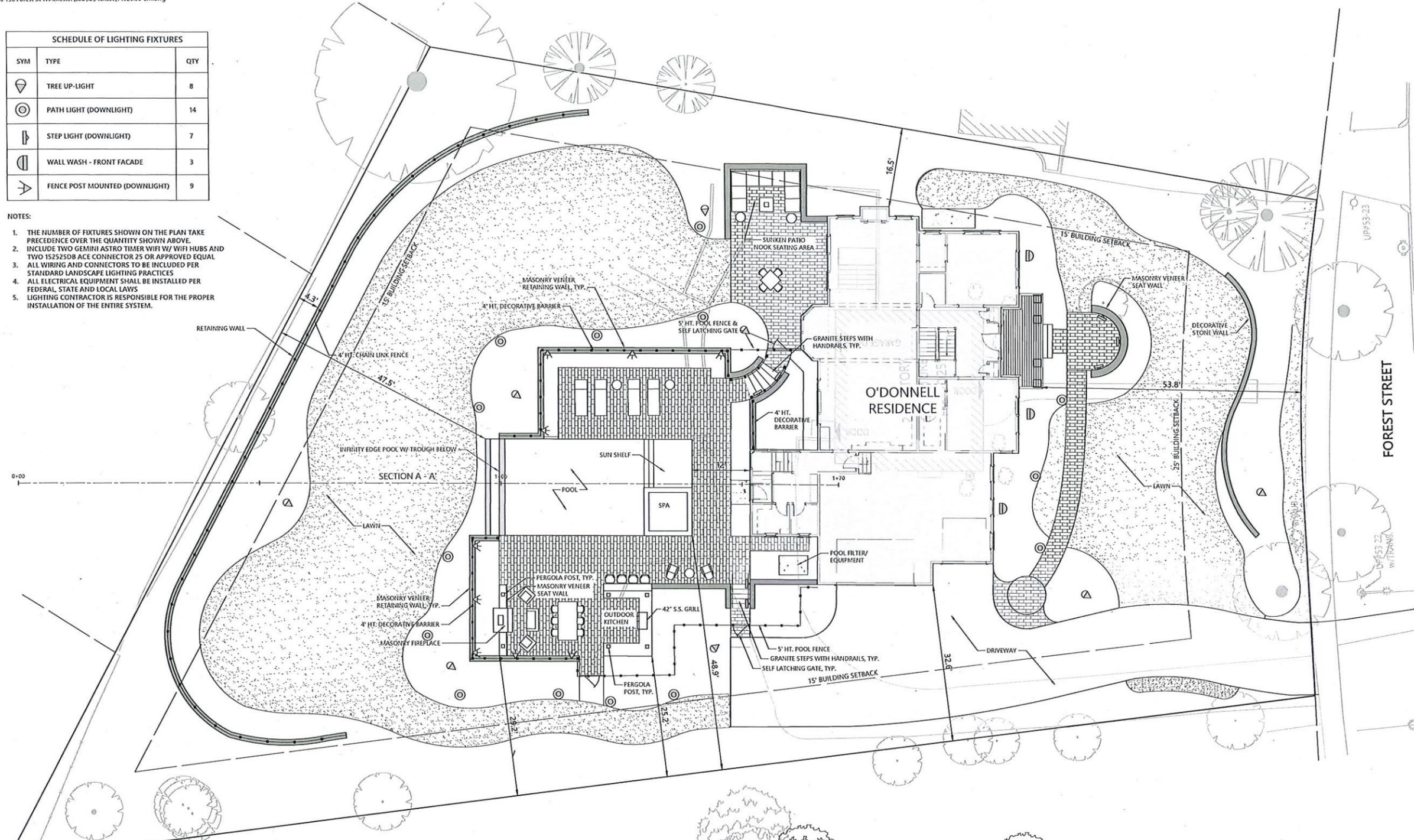
Drawing Number  
**L-3**  
 Sheet 3 of 10  
 Project Number  
 14925.00

SECTION A - A'

SCHEDULE OF LIGHTING FIXTURES		
SYM	TYPE	QTY
⬇	TREE UP-LIGHT	8
⊙	PATH LIGHT (DOWNLIGHT)	14
⬇	STEP LIGHT (DOWNLIGHT)	7
⬇	WALL WASH - FRONT FACADE	3
⬇	FENCE POST MOUNTED (DOWNLIGHT)	9

**NOTES:**

1. THE NUMBER OF FIXTURES SHOWN ON THE PLAN TAKE PRECEDENCE OVER THE QUANTITY SHOWN ABOVE.
2. INCLUDE TWO GEMINI ASTRO TIMER WIFI W/ WIFI HUBS AND TWO 152525DB ACE CONNECTOR 25 OR APPROVED EQUAL.
3. ALL WIRING AND CONNECTORS TO BE INCLUDED PER STANDARD LANDSCAPE LIGHTING PRACTICES.
4. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED PER FEDERAL, STATE AND LOCAL LAWS.
5. LIGHTING CONTRACTOR IS RESPONSIBLE FOR THE PROPER INSTALLATION OF THE ENTIRE SYSTEM.



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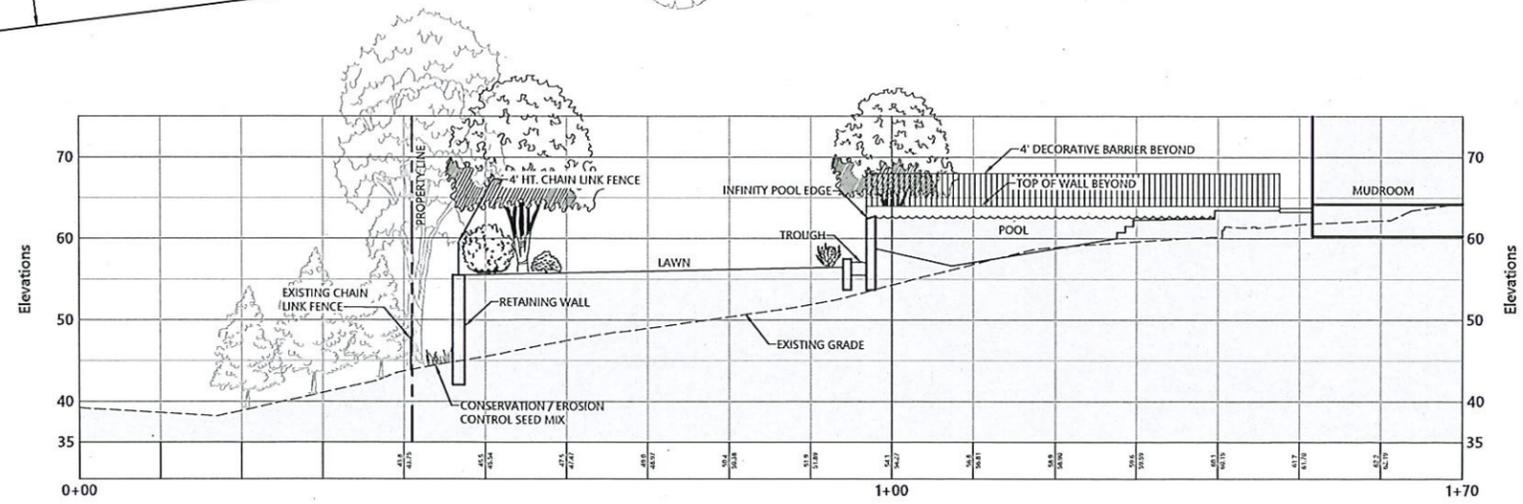


**O'Donnell Residence**  
 138 Forest Street  
 Winchester, Massachusetts

No.	Revision	Date	App'd.

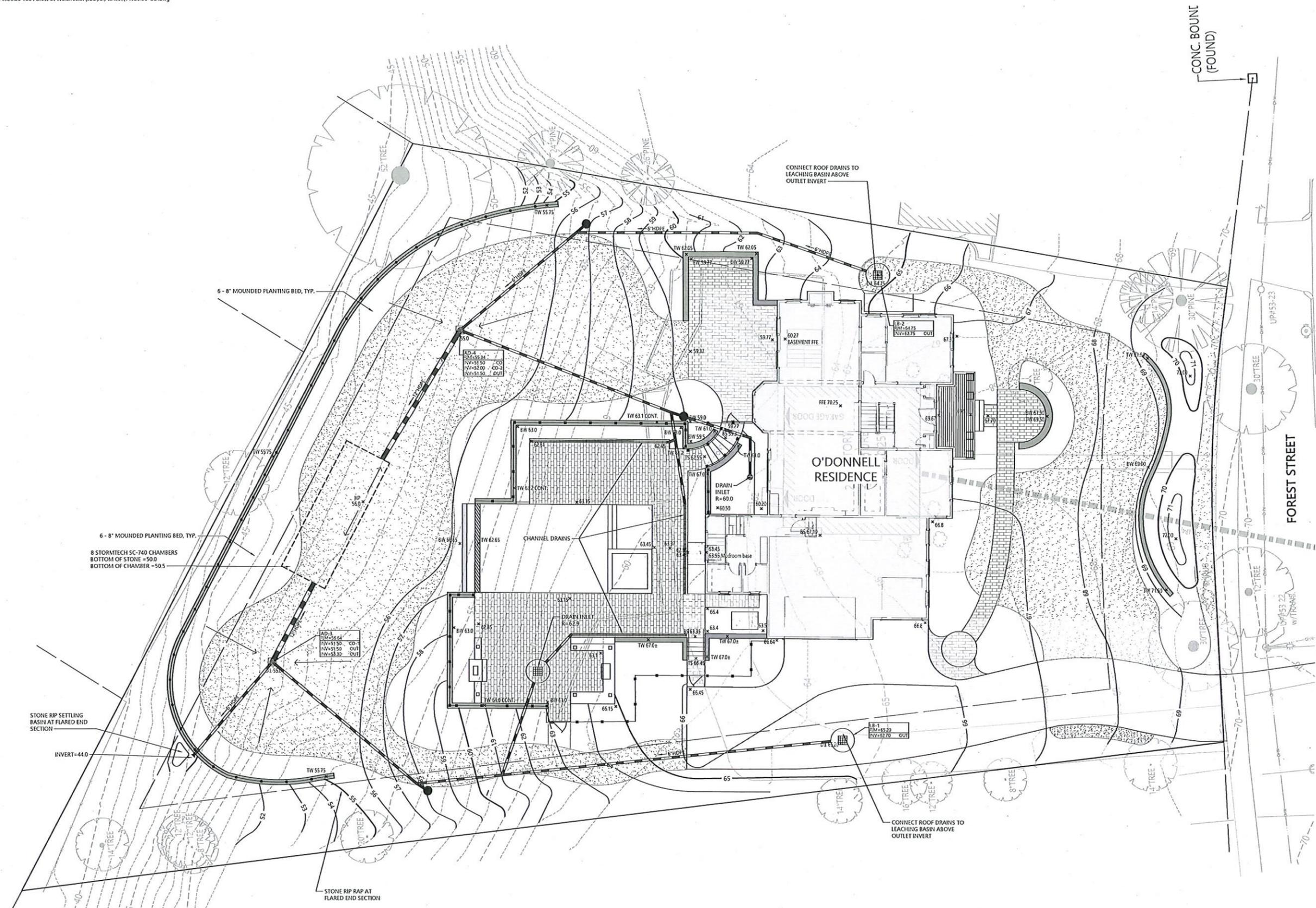
Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
 Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
**Permitting** Sept. 1, 2020

Not Approved for Construction  
 Drawing Title: **Layout and Materials Plan**  
 Drawing Number: \_\_\_\_\_





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Winchester, Massachusetts

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Not Approved for Construction  
**Grading and Drainage Plan**

**L-4**

Sheet 4 of 10

Project Number 14925.00

**Planting Notes**

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

**Tree Protection**

- EXISTING TREES TO REMAIN SHALL BE PROTECTED WITH TEMPORARY CONSTRUCTION FENCE. ERECT FENCE AT EDGE OF THE TREE DRIPLINE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL NOT OPERATE VEHICLES WITHIN THE TREE PROTECTION AREA. CONTRACTOR SHALL NOT STORE VEHICLES OR MATERIALS, OR DISPOSE OF ANY WASTE MATERIALS, WITHIN THE TREE PROTECTION AREA.
- DAMAGE TO EXISTING TREES CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY A CERTIFIED ARBORIST AT THE CONTRACTOR'S EXPENSE.

**PLANT SCHEDULE**

GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
PVS	24	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	#2 POT	24" o.c.
PAH	76	Pennisetum alopecuroides Hameln	Hameln Dwarf Fountain Grass	#1 POT	24" o.c.

PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
ANE	32	Aster novae-angliae	New England Aster	#1 POT	24" o.c.
AW	63	Astilbe x 'Vershute' TM	Younique White Astilbe	#1 POT	18" o.c.
DP	26	Dennstaedtia punctilobula	Hay-scented Fern	#1 POT	24" o.c.
EP	13	Echinacea purpurea	Coneflower	#1 POT	24" o.c.
EPW	12	Echinacea x 'Pow Wow White'	Pow Wow White	#1 POT	24" o.c.
ISC	22	Iberis sempervirens	Evergreen Candytuft	#1 POT	16" o.c.

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
LM	85	Lamium maculatum	Spotted Dead Nettle	#1 POT	20" o.c.
VM	269	Vinca minor	Common Periwinkle	Bare Root	8" o.c.

**PLANT SCHEDULE**

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
BN	3	Betula nigra 'Heritage'	Multi-Stem Heritage River Birch	12-14" HT.	

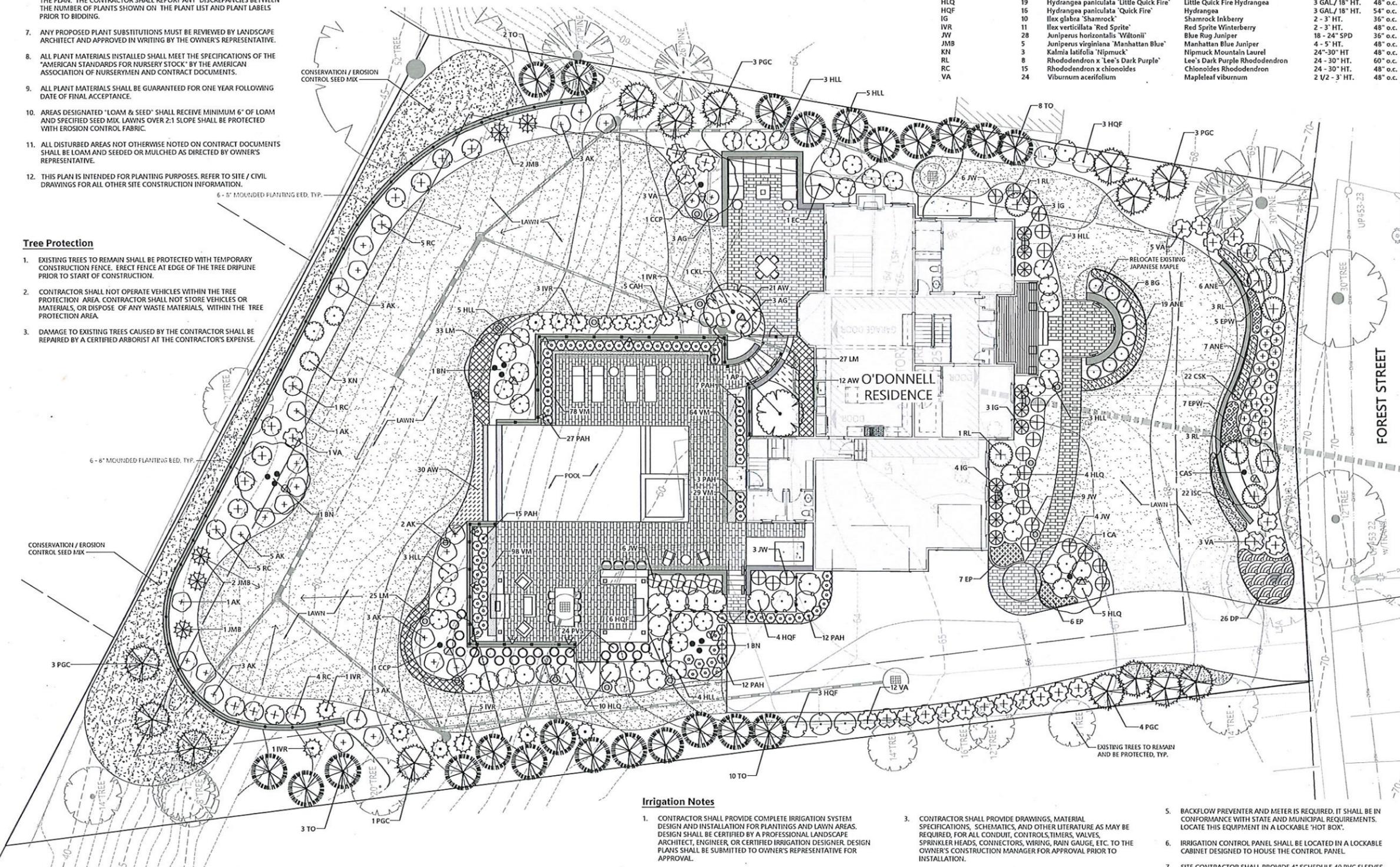
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
PGC	14	Picea glauca 'Coerulea'	Coerulea White Spruce	7-8' HT.	
TO	23	Thuja occidentalis 'Nigra'	Dark American Arborvitae	6-7' HT.	

ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
AP	1	Acer palmatum dissectum 'Red Dragon'	Red Dragon Japanese Maple	6-7' HT.	
CA	1	Cornus alternifolia	Pagoda Dogwood	2-2 1/2" CAL.	
CAS	1	Cornus florida 'Appalachian Snow'	Dogwood Appalachian Snow	10-12' HT.	
CCP	2	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	10-12' HT.	
CKL	1	Cornus kousa 'Elizabeth Lustgarten'	Elizabeth Lustgarten Kousa Dogwood	4'-5' HT. MIN.	

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
AG	6	Azalea x 'Girard's Pleasant White'	Girard's Pleasant White Azalea	24-30" HT.	36" o.c.
AK	24	Azalea x 'Karen'	Karen Azalea	18-24" SPD	48" o.c.
BG	8	Buxus x 'Green Gem'	Green Gem Boxwood	15-18" HT	36" o.c.
CAH	5	Clethra alnifolia 'Hummingbird'	'Hummingbird' Summersweet	18-24" HT.	36" o.c.
CSK	22	Cornus sericea 'Kelsey'	Kelsey Dwarf Redtwig Dogwood	18-24" HT.	30" o.c.
EC	1	Enkianthus campanulatus	Enkianthus	24-30" HT.	72" o.c.
HLL	26	Hydrangea paniculata 'Little Lime'	Little Lime Hydrangea	3 GAL / 18" HT.	48" o.c.
HLQ	19	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Hydrangea	3 GAL / 18" HT.	48" o.c.
HQF	16	Hydrangea paniculata 'Quick Fire'	Hydrangea	3 GAL / 18" HT.	54" o.c.
IG	10	Ilex glabra 'Shamrock'	Shamrock Inkberry	2-3' HT.	36" o.c.
IVR	11	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	2-3' HT.	48" o.c.
JW	28	Juniperus horizontalis 'Wiltonii'	Blue Rug Juniper	18-24" SPD	36" o.c.
JMB	5	Juniperus virginiana 'Manhattan Blue'	Manhattan Blue Juniper	4-5' HT.	48" o.c.
KN	3	Kalmia latifolia 'Nipmuck'	Nipmuck Mountain Laurel	24-30" HT.	48" o.c.
RL	8	Rhododendron x 'Lee's Dark Purple'	Lee's Dark Purple Rhododendron	24-30" HT.	60" o.c.
RC	15	Rhododendron x chionoides	Chionoides Rhododendron	24-30" HT.	48" o.c.
VA	24	Viburnum acerifolium	Mapleleaf viburnum	2 1/2-3' HT.	48" o.c.



**Irrigation Notes**

- CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTINGS AND LAWN AREAS. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR APPROVAL.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
- CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GAUGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND SUB CONTRACTORS.
- BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS. LOCATE THIS EQUIPMENT IN A LOCKABLE 'HOT BOX'.
- IRRIGATION CONTROL PANEL SHALL BE LOCATED IN A LOCKABLE CABINET DESIGNED TO HOUSE THE CONTROL PANEL.
- SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.



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Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
 Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
 Permitting: \_\_\_\_\_ Sept. 1, 2020

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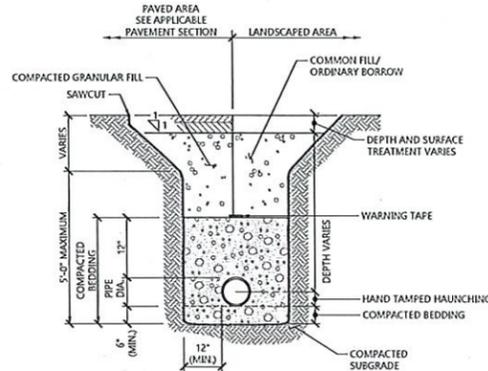
**Planting Plan**

Drawing Number

**L-5**

Sheet 5 of 10

Project Number 14925.00

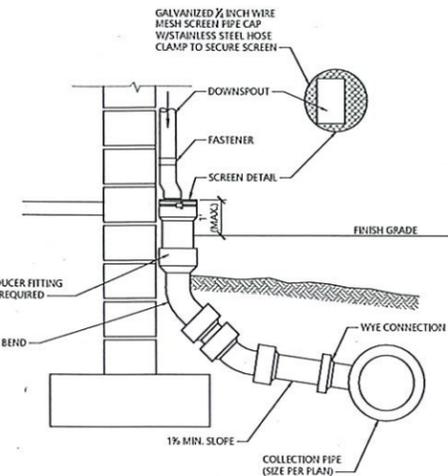


**NOTES**

- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
- USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

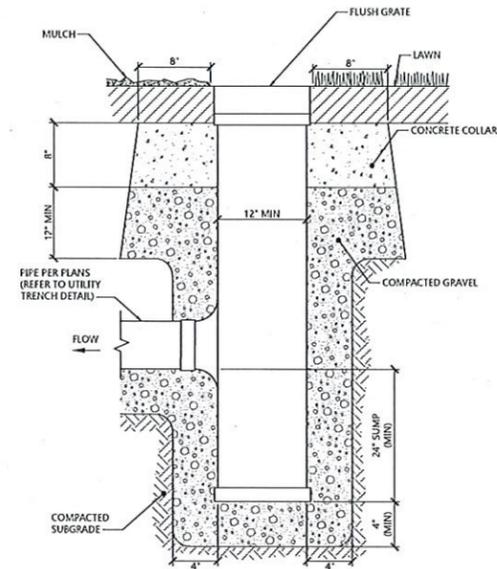
**Utility Trench**

N.T.S. Source: VHB 1/16 LD\_300



**Downspout Rain Leader**

N.T.S. Source: VHB 1/16 LD\_195

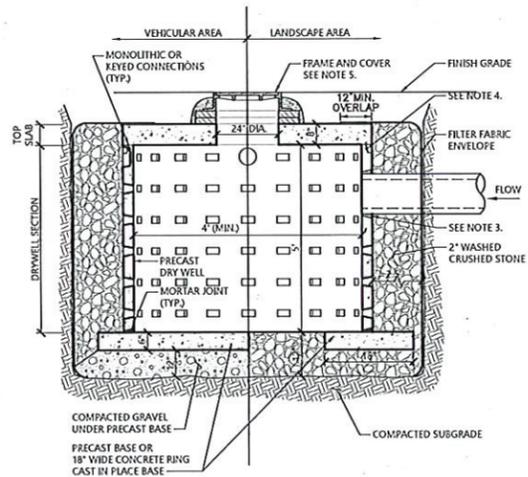


**NOTES**

- LANDSCAPE DRAINS SHALL BE NYLOPLAST 12\"/>

**Area Drain (AD)**

N.T.S. Source: VHB 9/17 LD\_197

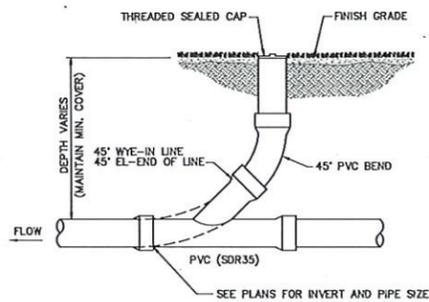


**NOTES**

- BASE SECTION SHALL BE PRECAST CONCRETE WITH MORTARED JOINTS OR CAST IN PLACE.
- ALL COMPONENTS SHALL BE DESIGNED FOR HS-20 LOADING.
- PROVIDE PRECAST OPENINGS FOR PIPES WITH 2\"/>

**Leaching Basin**

N.T.S. Source: VHB 1/16 LD\_180



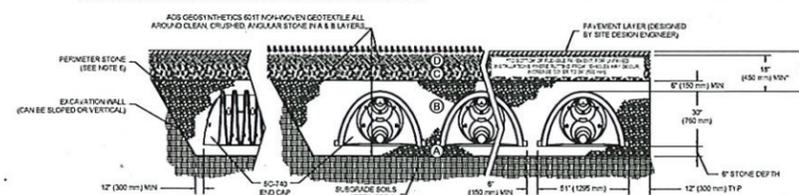
**Cleanout - Landscape Area**

N.T.S. Source: VHB 6/08 LD\_302

**ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS**

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE C LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE D LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBBASE REQUIREMENTS.	NA
C	INITIAL FILL: FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE EMBEDEDMENT STONE (B LAYER) TO 18\"/>	GRAVELLAR WELL-GRADED SOIL-AGGREGATE MIXTURES (GEN. PER OR PROCESSOR AGGREGATE) OR MOST PAVEMENT SUBBASE MATERIALS CAN BE USED IN LAYER OF THIS LAYER.	AASHTO M-18P A-1, A-2.4, A-3 OR AASHTO M-27 3, 3P, 4, 4P, 5, 5P, 6, 6P, 7, 7.5, 8, 8.5, 9, 10
B	EMBEDEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE C LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE.	AASHTO M-31 3, 3P, 4, 4P, 5, 5P, 5F
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE.	AASHTO M-31 3, 3P, 4, 4P, 5, 5P, 5F

PLEASE NOTE:  
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR, FOR EXAMPLE, A SPECIFICATION FOR 48 STONE WOULD STATE, "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M-31) STONE."  
2. STORMTECH CONSTRUCTION REQUIREMENTS ARE MET FOR ALL LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6\"/>



**NOTES:**

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2113 STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS, OR ASTM F2021 STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2271 STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS.
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXCAVATED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER C IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER D UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER C OR D AT THE SITE DESIGN ENGINEER'S DISCRETION.

**Subsurface Detention/Infiltration (StormTech SC-740)**

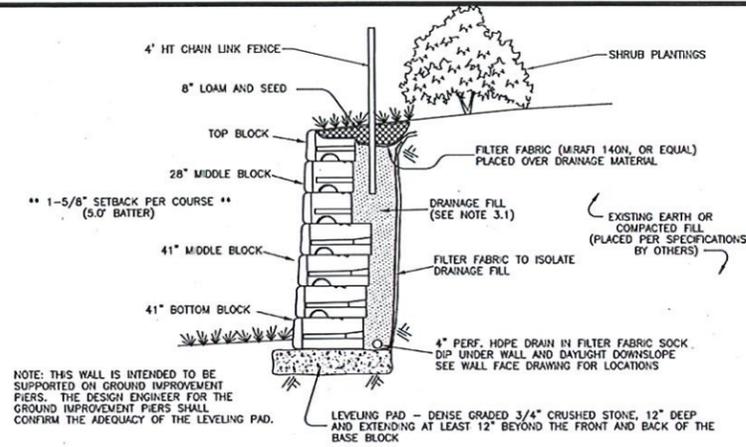
N.T.S. Source: StormTech

No.	Revision	Date	App'd

Designed by	Checked by
Issued for	Date
Permitting	Sept. 1, 2020

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Site Details



NOTE: THIS WALL IS INTENDED TO BE SUPPORTED ON GROUND IMPROVEMENT PIERS. THE DESIGN ENGINEER FOR THE GROUND IMPROVEMENT PIERS SHALL CONFIRM THE ADEQUACY OF THE LEVELING PAD.

MAXIMUM APPLIED BEARING PRESSURE: WALL #1 - 2500 psf

TYPICAL SECTION - WALL #1  
(TYPICAL DETAIL ONLY - SEE WALL FACE DRAWING FOR SPECIFIC BLOCK CONFIGURATIONS)  
"REDI-ROCK" SEGMENTAL RETAINING WALL

COMPACTION NOTE: WHERE THE RETAINING WALL PASSES OVER ANY UTILITY LINES, COMPACTION OF THE SOIL WITHIN THE UTILITY TRENCH IS CRITICAL IN ORDER TO PREVENT SETTLEMENT OF THE WALL. COMPACTION OF ALL FILL MATERIAL IN UTILITY TRENCHES WHICH PASS UNDER THIS RETAINING WALL MUST BE AT LEAST 95% OF THE MAXIMUM DENSITY OF THE FILL MATERIAL.

COMPACTED FILL/BACKFILL MASS DOT M1.03.0 TYPE A	
SIEVE SIZE	% PASSING
1/2"	100%
3/4"	50-85%
#4	40-75%
#50	8-28%
#200	0-10%

NOTE: THE DESIGN ENGINEER MUST BE MADE AWARE WHENEVER THE PERCENT PASSING THE #200 SIEVE EXCEEDS 10%. GROUNDWATER CONTROL METHODS MAY BE REQUIRED.

IMPERVIOUS MATERIAL GENERAL REQUIREMENTS	
SIEVE SIZE	% PASSING
3"	100%
#4	80-100%
#40	50-80%
#100	40-80%
#200	30-80%

8" OF TOPSOIL IS AN ACCEPTABLE ALTERNATE FOR IMPERVIOUS FILL ALONG THE TOP OF THE WALL.

DESIGN ASSUMPTIONS	
SOIL	SOIL UNIT WEIGHT (γ)
COMPACTED FILL/BACKFILL	130
EXISTING SAND FILL	130
FILL	135

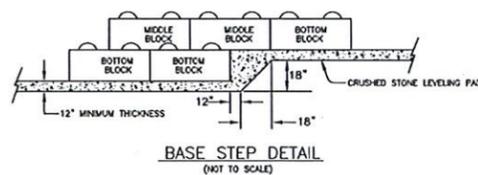
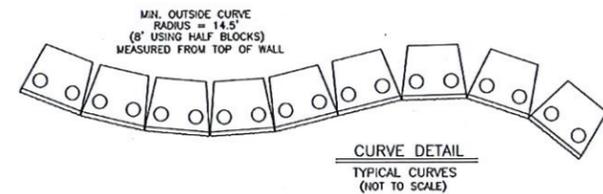
APPLIED SURCHARGE LOADING:  
WALL #1 - 250 psf  
WALL #7 - 100 psf  
ALL OTHER WALLS: NONE

SEISMIC ACCELERATION = 0.12

SLOPES: AS SHOWN ON GRADING PLAN

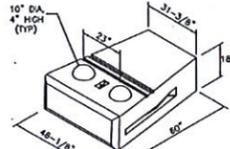
DRAINAGE FILL - ASTM #57 STONE GRADATION REQUIREMENTS	
SIEVE SIZE	% PASSING
1-1/2"	100
1"	95 - 100
1/2"	25 - 60
#4	0 - 10
#8	0 - 5
#200	0 - 2

MINIMUM FACTORS OF SAFETY	
OVERTURNING	1.5
SLIDING	1.5
BEARING CAPACITY	2.0

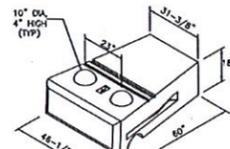


- BLOCK SPECIFICATION NOTES:**
- ALL BLOCKS SHALL BE MANUFACTURED BY A LICENSED REDI-ROCK (TM) MANUFACTURER.
  - BLOCKS SHALL MEET THE MAXIMUM REDI-ROCK SPECIFICATIONS OF 4000 psi WITH AN AIR CONTENT OF 4%-8%.
  - THE REDI-ROCK UNITS MAY UTILIZE EITHER THE SPLIT LIMESTONE OR COBBLESTONE FACE CONFIGURATION AS CHOSEN BY THE OWNER OR OWNER'S REPRESENTATIVE.

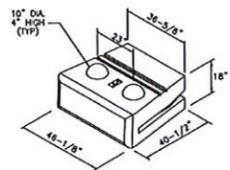
NOTE: HALF-BLOCKS HAVE THE SAME FEATURES AS SHOWN HERE FOR FULL BLOCKS BUT THEY ARE 23-1/16" WIDE, NOT THE FULL 46-1/8" WIDE.



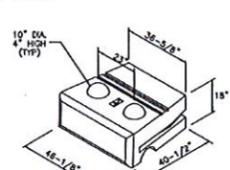
60" BOTTOM BLOCK  
NOT-TO-SCALE



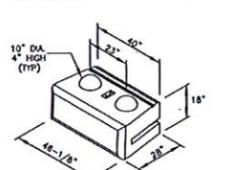
60" MIDDLE BLOCK  
NOT-TO-SCALE



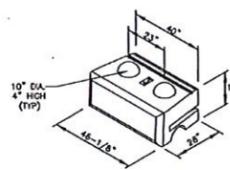
41" BOTTOM BLOCK  
NOT-TO-SCALE



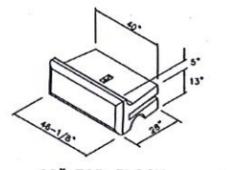
41" MIDDLE BLOCK  
NOT-TO-SCALE



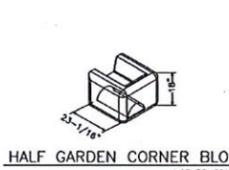
28" BOTTOM BLOCK  
NOT-TO-SCALE



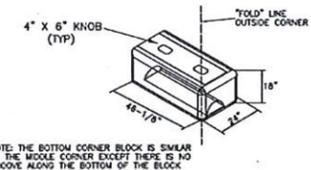
28" MIDDLE BLOCK  
NOT-TO-SCALE



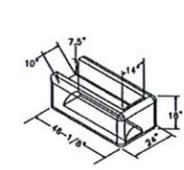
28" TOP BLOCK  
NOT-TO-SCALE



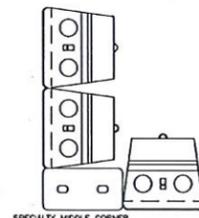
HALF GARDEN CORNER BLOCK  
NOT-TO-SCALE



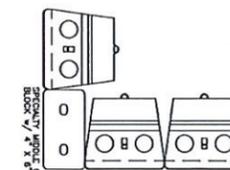
MIDDLE CORNER BLOCK  
NOT-TO-SCALE



GARDEN CORNER BLOCK  
NOT-TO-SCALE



SECOND LEVEL BLOCKS



FIRST LEVEL BLOCKS

90° OUTSIDE CORNER  
28" OR 41" BLOCKS  
NOT-TO-SCALE

**GENERAL NOTES:**

- SITE PREPARATION:**
  - STRIP ALL VEGETATION, ORGANIC SOILS AND UNSUITABLE FILL SOILS FROM THE WALL ALIGNMENT AREA.
  - BENCH CUT ALL EXCAVATED SLOPES.
  - DO NOT OVER EXCAVATE UNLESS DIRECTED TO DO SO BY THE OWNER'S SITE REPRESENTATIVE IN ORDER TO REMOVE UNSUITABLE SOIL.
  - THE OWNER'S GEOTECHNICAL ENGINEER SHALL VERIFY THE COMPETENCY OF THE FOUNDATION SOILS AS WELL AS THE SOIL STRENGTH PARAMETERS LISTED UNDER "DESIGN ASSUMPTIONS".
- LEVELING PAD & BOTTOM BLOCK:**
  - LEVELING PAD SHALL CONSIST OF DENSE GRADED 3/4" CRUSHED STONE, 12" THICK AND EXTENDING AT LEAST 12" TO EITHER SIDE OF THE BASE BLOCK.
  - MINIMUM EMBEDMENT OF WALL BELOW FINISH GRADE SHALL BE AS INDICATED ON THE WALL FACE DRAWING.
  - FOLLOW APPLICABLE PROVISIONS OF THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WRITTEN SPECIFICATIONS, ESPECIALLY WITH REGARDS TO LEVELING OF BLOCKS AND BASE.
- WALL DRAIN:**
  - DRAINAGE FILL SHALL CONSIST OF ASTM #57 SIZE CRUSHED STONE PLACED FOR A DEPTH OF AT LEAST 12" BEHIND THE WALL. A FILTER FABRIC (MIRAFI 140N OR EQUAL) SHALL BE PLACED OVER THE CUT OR FILL FACE BEHIND THE WALL TO PREVENT THE MIGRATION OF SOIL INTO THE DRAINAGE MATERIAL.
  - THE 4" DIA. PERFORATED HOPE WALL DRAINS SHALL OUTLET TO DAYLIGHT OR BE TIED TO THE SITE DRAINAGE SYSTEM. SEE WALL FACE DRAWINGS FOR OUTLET LOCATIONS.
  - DRAIN LINES (4" HOPE) WHICH PASS UNDER THE WALL BASE SHOULD BE CENTERED UNDER THE BASE BLOCK. THE PIPE TRENCH SHALL BE MINIMIZED SO THAT THE BASE BLOCK ACTS AS A LINTEL OVER THE PIPE AND TRENCH.
  - PLACE A FILTER FABRIC (MIRAFI 140N, OR EQUAL) OVER THE DRAINAGE MATERIAL TO MINIMIZE SOIL MIGRATION FROM THE SURFACE MATERIAL (TOPSOIL OR IMPERVIOUS) INTO THE DRAINAGE MATERIAL.
- BACKFILLING & COMPACTION:**
  - BACKFILL AND COMPACT THE FILL MATERIAL BEHIND THE WALL AS THE WALL IS INSTALLED.
  - COMPACTION TESTS SHALL BE TAKEN AS THE WALL IS INSTALLED. THE MINIMUM NUMBER OF TESTS SHALL BE DETERMINED BY THE OWNER'S SITE REPRESENTATIVE.
  - COMPACTION SHALL BE TO A MINIMUM OF 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY.
  - RECOMMENDED COMPACTION EQUIPMENT WITHIN 15 FEET OF THE BACK OF THE WALL IS AS FOLLOWS:  
0 - 4 FEET HAND TAMP OR VIBRATORY PLATE COMPACTOR  
4 - 15 FEET NOTHING LARGER THAN TWO-DRUM, WALK-BEHIND VIBRATORY ROLLER (LARGER ROLLERS CAN BE USED STATICALLY, PROVIDED LIFT SIZE DOES NOT COMPROMISE ACHIEVEMENT OF NECESSARY COMPACTION RATES.)
- GENERAL WALL LAYOUT & CONSTRUCTION:**
  - FINAL WALL ALIGNMENT SHALL BE LOCATED IN THE FIELD BY THE OWNER'S SITE REPRESENTATIVE.
  - PROVIDE LATERAL DRAINAGE SWALES TO DIRECT FLOWS AROUND THE ENDS OF THE WALL AND AWAY FROM THE WALL DURING CONSTRUCTION.
  - TURF, OR SOME ACCEPTABLE FORM OF SOIL EROSION PROTECTION, SHOULD BE ESTABLISHED AT THE TOP OF THE WALL (WHERE REQUIRED) BY THE LANDSCAPE CONTRACTOR AS SOON AS THE WALL IS COMPLETED.
  - ENDS OF THE RETAINING WALLS SHALL BE BLENDED INTO THE PROPOSED/EXISTING GRADE IN A MANNER SATISFACTORY TO THE OWNER'S SITE REPRESENTATIVE. AT THE ENDS OF A WALL WHERE BLENDING TAKES PLACE, THE ISSUE IS NOT A STRUCTURAL FACTOR BUT AN AESTHETIC FACTOR AND THE OWNER'S SITE REPRESENTATIVE IS QUALIFIED TO MAKE THIS JUDGEMENT.
  - WHERE ANGLES IN THE WALL ARE SHOWN, THE CONTRACTOR MAY UTILIZE A CURVED SECTION AS DETAILED ON THIS SHEET. CURVED REDI-ROCK WALLS WORK WELL WITH INSIDE AND OUTSIDE CORNERS. OUTSIDE CORNERS/CURVES HAVE A MINIMUM 14'-6" RADIUS (AS MEASURED FROM THE TOP OF THE WALL) WITH STANDARD BLOCK AND A MINIMUM 8' RADIUS USING HALF BLOCKS. THE USE OF A CURVED SECTION RATHER THAN THE SHARP ANGLE DEPICTED ON THE SITE PLANS REQUIRES THE APPROVAL OF THE OWNER'S SITE REP.
  - IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE DESIGN ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE WALL.
  - THESE WALLS HAVE BEEN DESIGNED WITH CONSIDERATION OF SEISMIC LOADINGS.
  - WALL CERTIFICATIONS: OCCASIONALLY A "SIGN OFF" BY THE DESIGN ENGINEER IS NEEDED AFTER COMPLETION OF WALL CONSTRUCTION. IF THIS SERVICE IS NEEDED ARRANGEMENTS MUST BE MADE WITH THE DESIGN ENGINEER PRIOR TO WALL CONSTRUCTION FOR A SERIES OF SITE VISITS TO OBSERVE WALL CONSTRUCTION. ACCEPTANCE LETTERS, SIGN OFFS, CERTIFICATIONS, WARRANTIES, ETC. WILL NOT BE PROVIDED WITHOUT PERIODIC SITE VISITS.

IT IS THE RESPONSIBILITY OF THE INSTALLER TO REVIEW THE NOTES AND DETAILS ON ALL SHEETS OF THIS PLAN SET

O'Donnell Residence  
138 Forest Street  
Winchester, Massachusetts

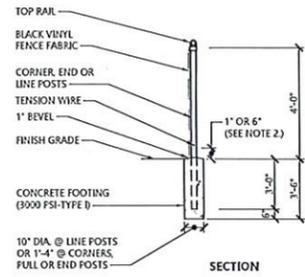
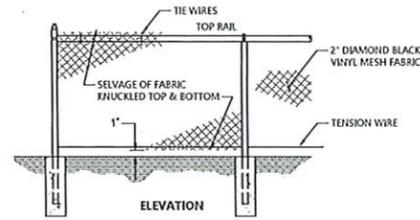
No.	Revision	Date	App'd.

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
Permitting: \_\_\_\_\_ Sept. 1, 2020

Not Approved for Construction  
Site Details

Drawing Number

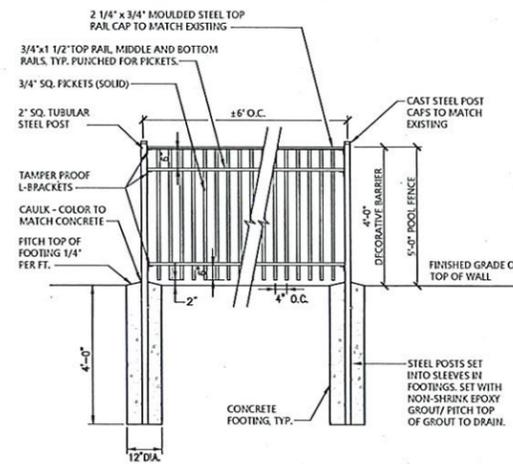
L-7



**NOTE**

1. MATERIALS TO BE SUPPLIED AND INSTALLED IN CONFORMANCE WITH "CHAIN LINK MANUFACTURER'S INSTITUTE" PRODUCT MANUAL.
2. PROVIDE 6" OF CLEARANCE BETWEEN THE BOTTOM OF FABRIC AND FINISH GRADE AROUND BMP IF AN ORDER OF CONDITIONS WAS ISSUED FOR THE PROJECT.

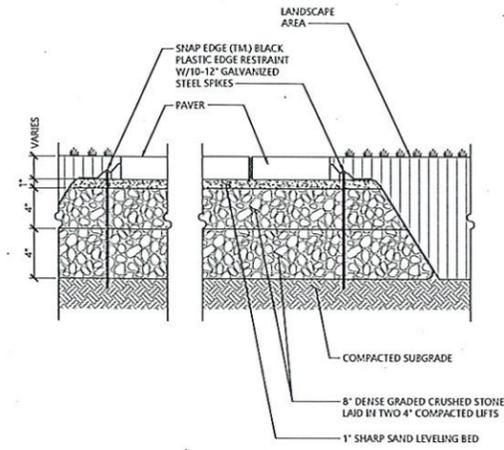
**4' Ht. Chain Link Fence** 1/16  
N.T.S. Source: VHB REV LD\_481



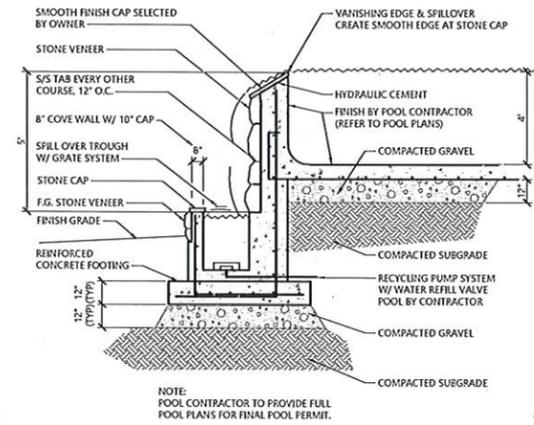
**NOTES:**

1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, BASED ON FIELD MEASUREMENTS, FOR APPROVAL PRIOR TO FABRICATION.
2. ALL STEEL SHALL BE HOT DIPPED GALVANIZED WITH FACTORY APPLIED EPOXY ENAMEL FINISH TO MATCH EXISTING FENCE.

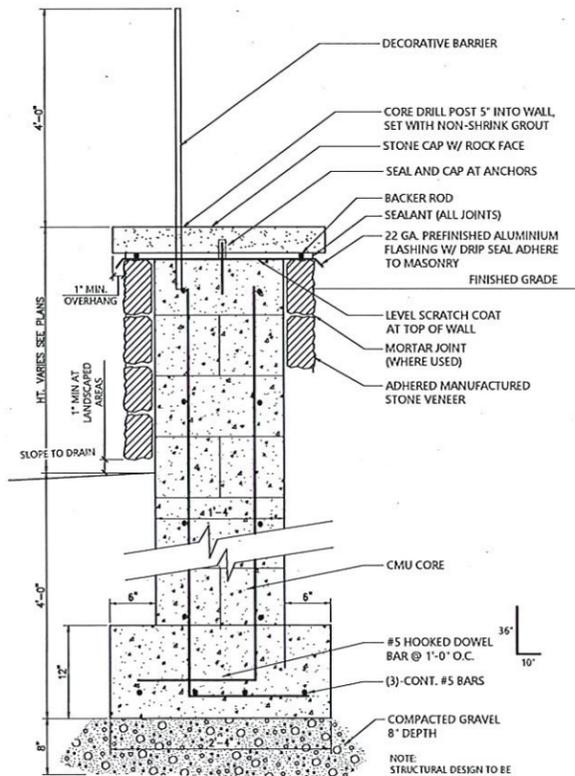
**4' Ht. Decorative Barrier / 5' Ht. Pool Fence** 11/15  
N.T.S. Source: VHB LD\_



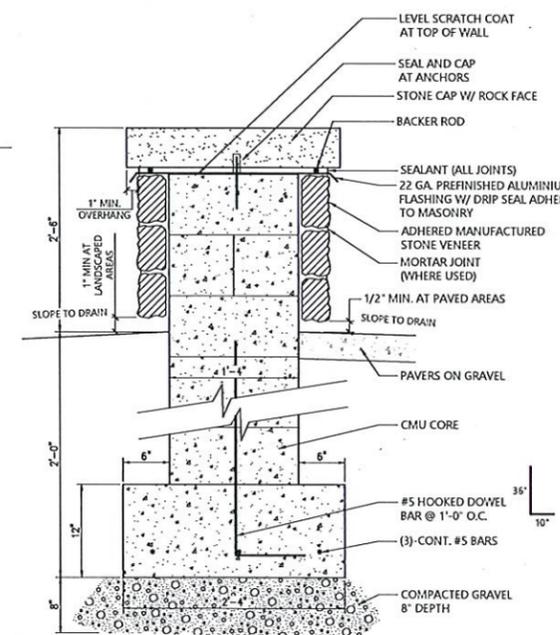
**Pavers on Gravel** 1/16  
N.T.S. Source: VHB LD\_824



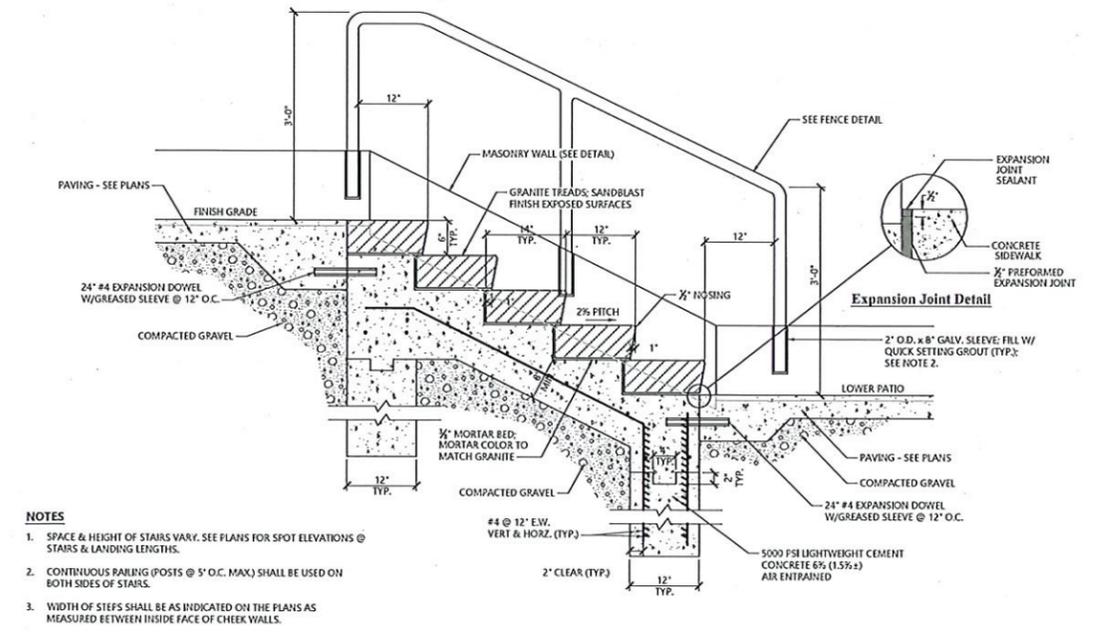
**Infinity Pool Edge** 8/20  
N.T.S. Source: VHB LD\_



**Masonry Veneer Retaining Wall** 1/17  
N.T.S. Source: VHB



**Masonry Veneer Seat Wall** 1/17  
N.T.S. Source: VHB



**Granite Steps with Handrail** 8/20  
N.T.S. Source: VHB LD\_

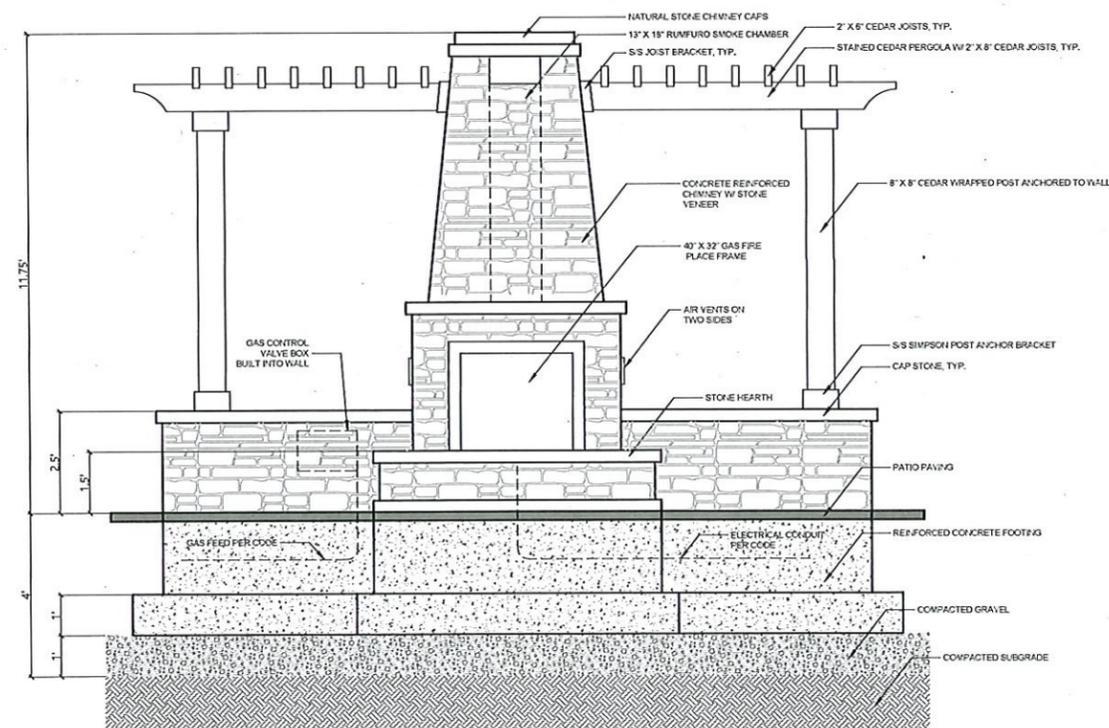
**O'Donnell Residence**  
138 Forest Street  
Winchester, Massachusetts

No.	Revision	Date	App'd.

Designed by: \_\_\_\_\_ Checked by: \_\_\_\_\_  
Issued for: \_\_\_\_\_ Date: \_\_\_\_\_  
**Permitting** Sept 1, 2020

Not Approved for Construction  
Site Details

**L-8**



**Masonry Fireplace**

Scale: 1/2" = 1'-0"

Source: VHB

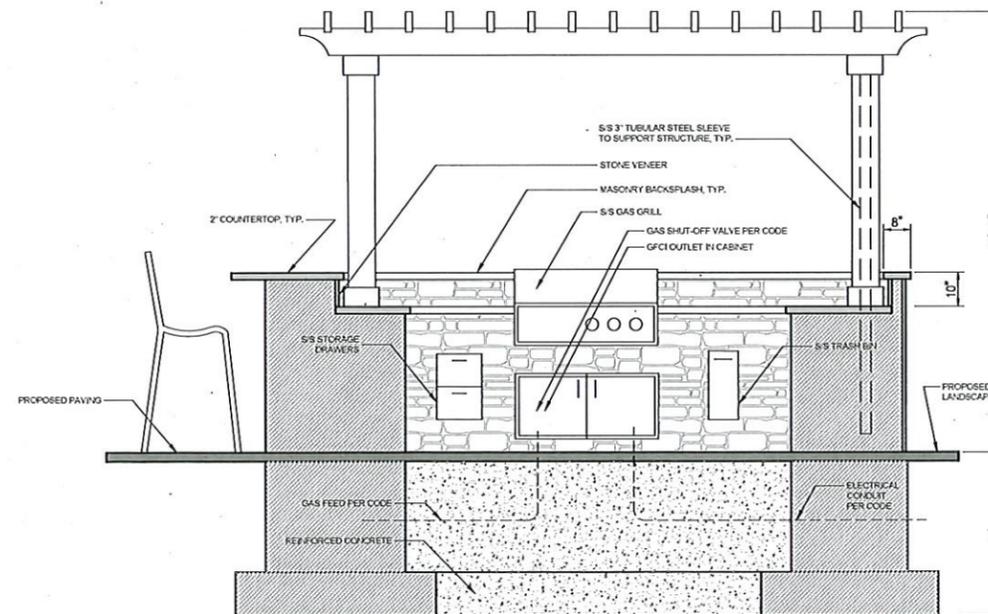
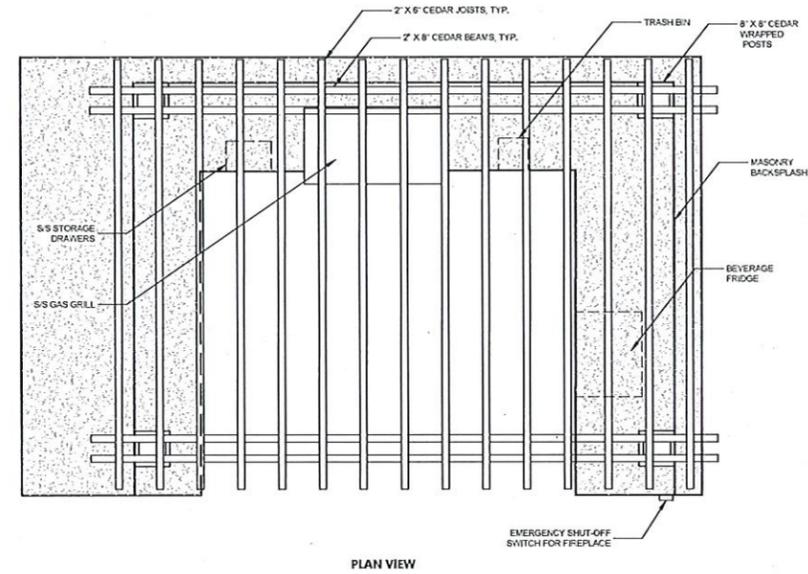
08/2020

**Outdoor Kitchen**

Scale: 1/2" = 1'-0"

Source: VHB

08/2020



**O'Donnell Residence**  
138 Forest Street  
Winchester, Massachusetts

No.	Revision	Date	App'd.

Designed by \_\_\_\_\_ Checked by \_\_\_\_\_  
 Issued for \_\_\_\_\_ Date \_\_\_\_\_  
**Permitting** Sept. 1, 2020

Not Approved for Construction  
 Drawing Title  
**Outdoor Kitchen**  
 Drawing Number

**L-9**

Sheet of 10

Project Number  
14925.00

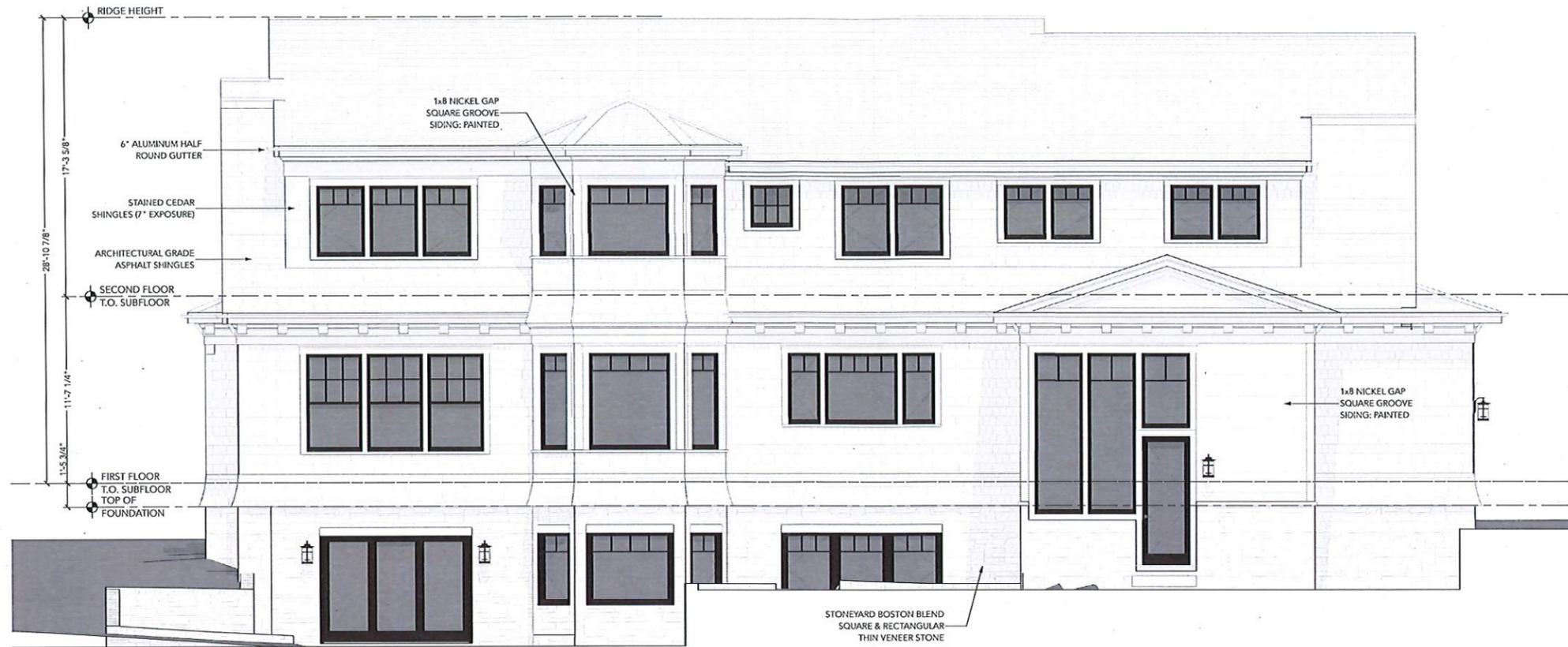




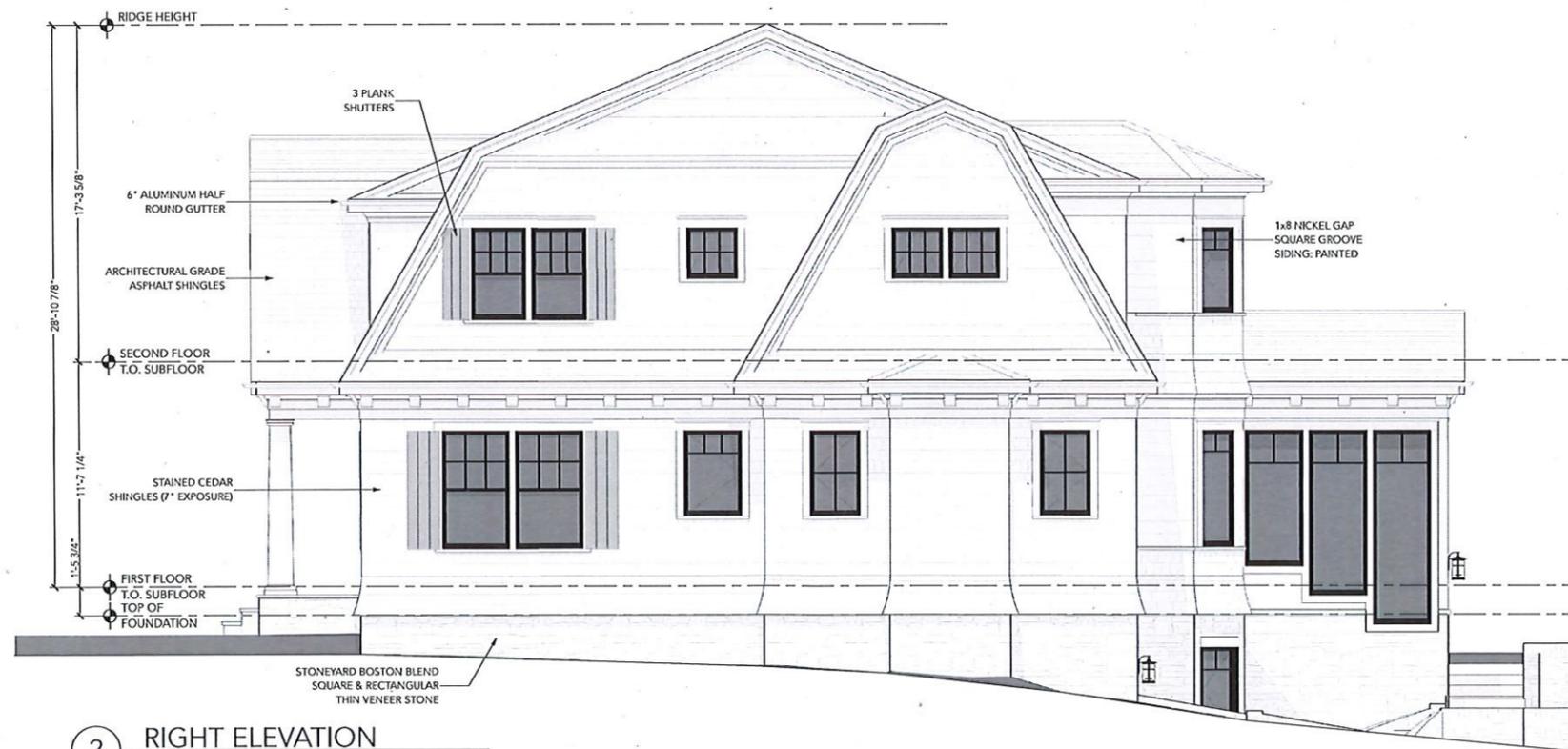
1 FRONT ELEVATION



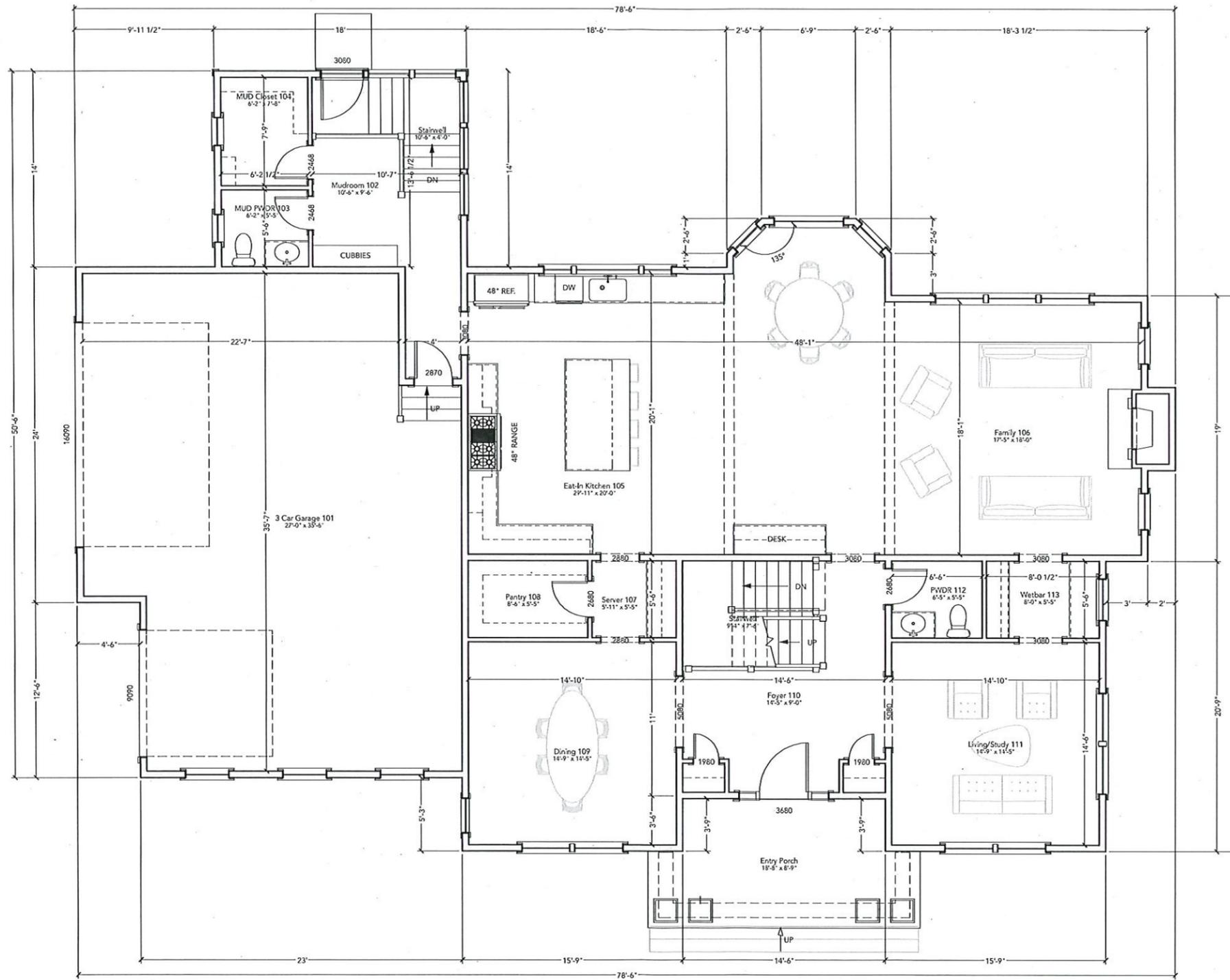
2 LEFT ELEVATION



1 REAR ELEVATION



2 RIGHT ELEVATION



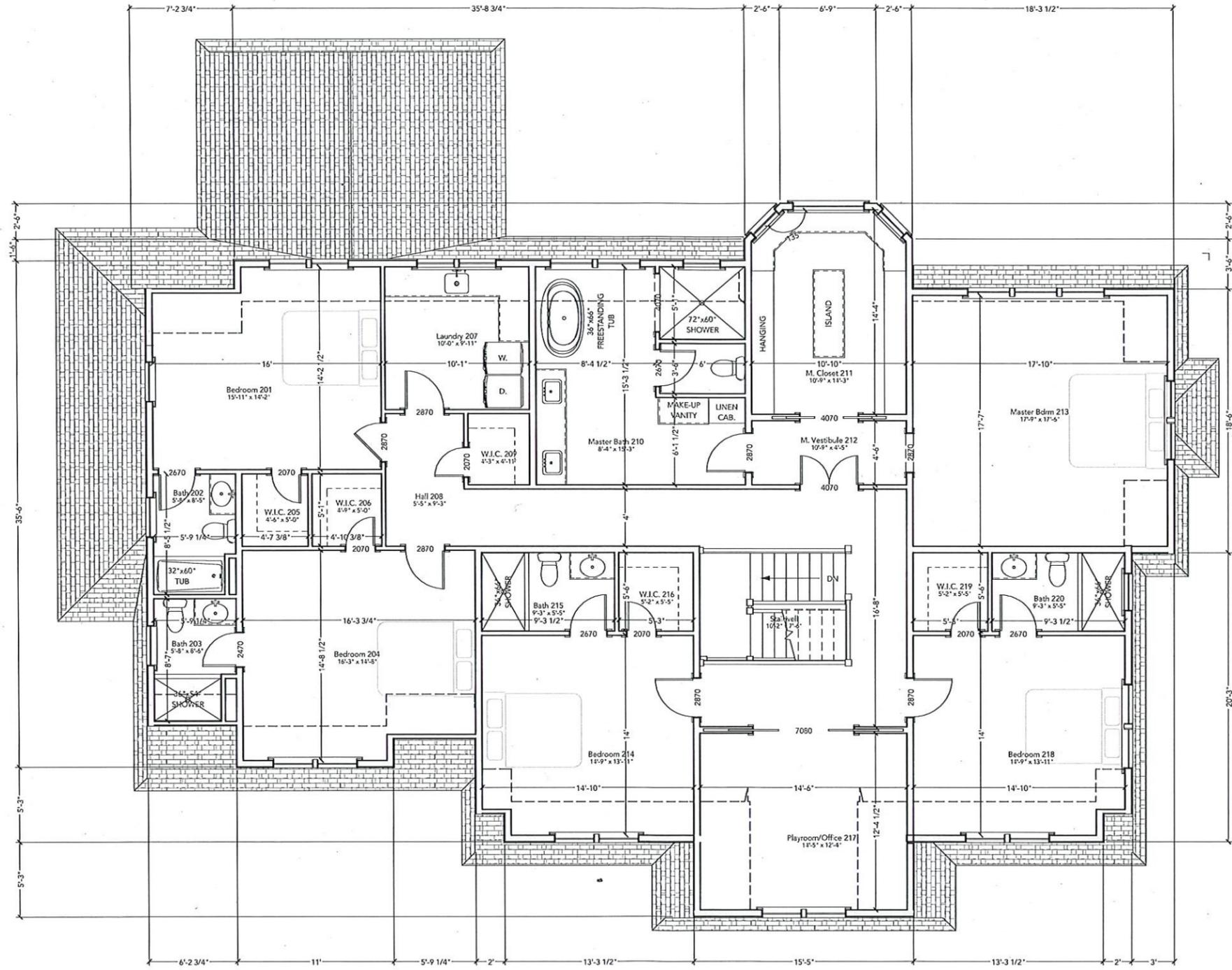
1 FIRST FLOOR PLAN  
LIVING AREA: 2,235 S.F.

O'DONNELL RESIDENCE  
NEW CONSTRUCTION  
#138 FOREST STREET  
WINCHESTER, MA

DUSTIN NOLIN R.A.  
1 HUNTINGTON AVE.  
UNIT 707  
BOSTON, MA 02116  
781.718.8009  
dustin@dna-architecture.com

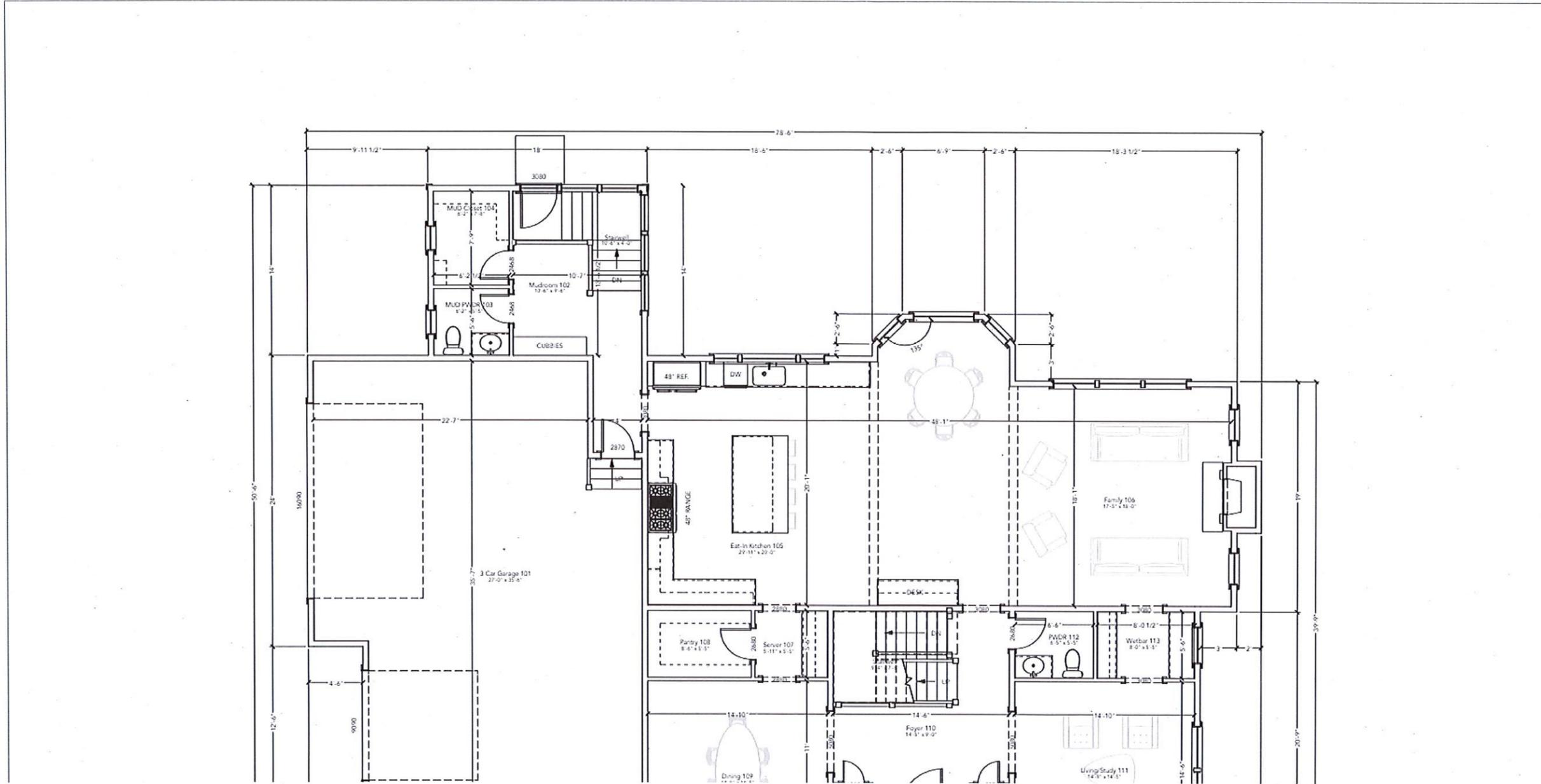
SCALE:  
1/4" = 1'-0"

DATE:  
8/26/20  
REV:



1 SECOND FLOOR PLAN  
LIVING AREA: 2,735 S.F.

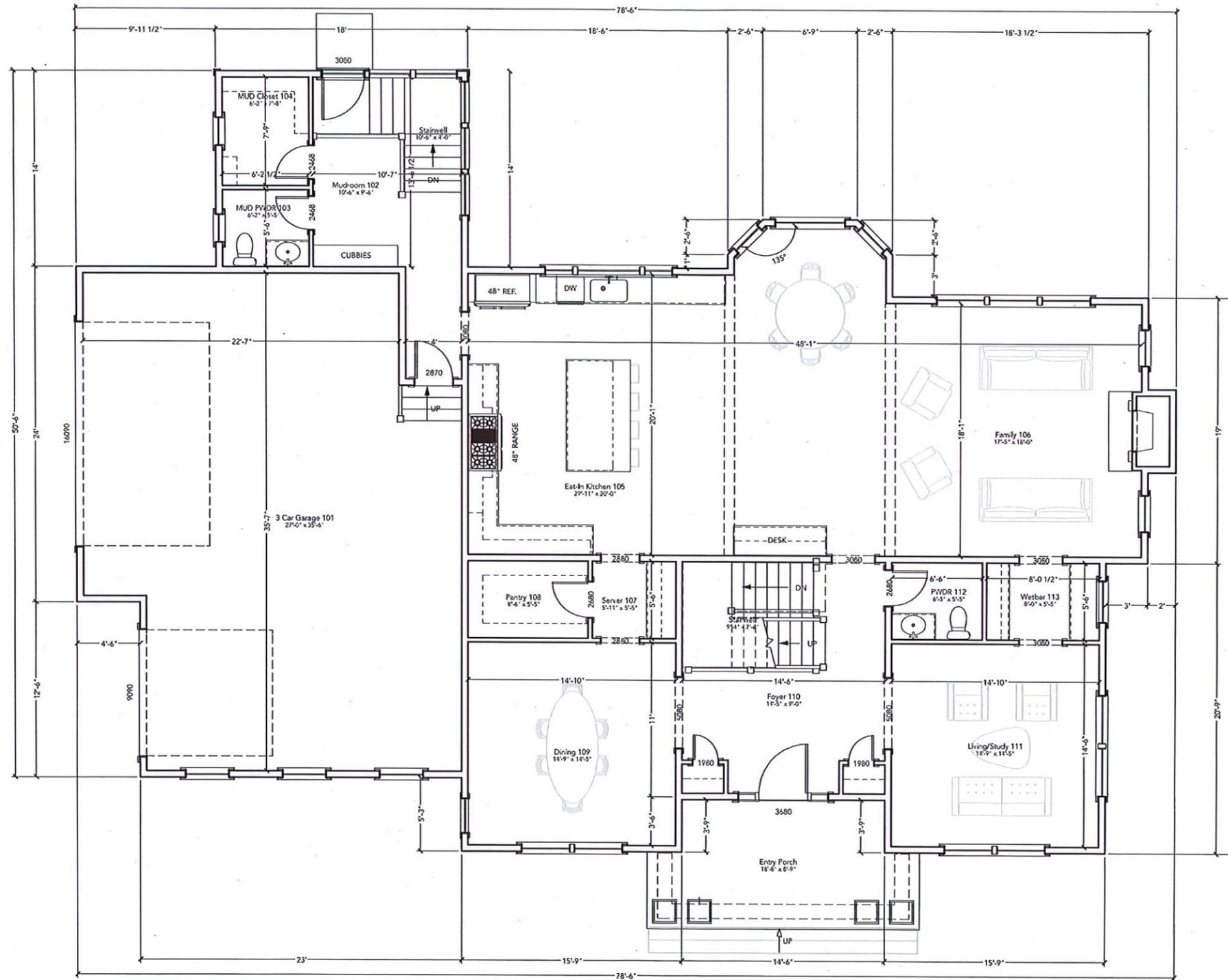




**O'DONNELL RESIDENCE**  
**NEW CONSTRUCTION**  
**#138 FOREST STREET**  
**WINCHESTER, MA**

DUSTIN NOLIN R.A.  
1 HUNTINGTON AVE.  
UNIT 707  
BOSTON, MA 02116  
781.718.8009  
dustin@dna-architecture.com





**1 FIRST FLOOR PLAN**  
 FIRST FLOOR LIVING AREA: 2,235 S.F.  
 GARAGE: 904 S.F.  
 SECOND FLOOR LIVING AREA: 2,735 S.F.  
 ATTIC: N/A (CEILING HEIGHT LESS THAN 7'-0")  
 TOTAL: 5,874 S.F.

**O'DONNELL RESIDENCE**  
**NEW CONSTRUCTION**  
**#138 FOREST STREET**  
**WINCHESTER, MA**

DUSTIN NOLIN R.A.  
 1 HUNTINGTON AVE.  
 UNIT 707  
 BOSTON, MA 02116  
 781.718.8009  
 dustin@dna-architecture.com



SCALE:  
 1/4" = 1'-0"  
 DATE:  
 9/1/20  
 REV:



RECEIVED  
WINCHESTER ENG DEPT.

2020 SEP 11 AM 11:39

BOARD OF APPEALS

NOTICE OF PUBLIC HEARING

The WINCHESTER BOARD OF APPEALS will hold a REMOTE PARTICIPATION PUBLIC HEARING on THURSDAY, OCTOBER 15, 2020 at 7:00 P.M. on the following matter:

PETITION NO. 3916 - That of JOHN B. MILLER by MOLLY K. MCDOUGAL, ESQ. concerning the property at 43 GLEN ROAD, WINCHESTER, MA. The petitioner is seeking a Special Permit from Section 3.5.5 of the Winchester Zoning By-Law in accordance with Chapter 40A, Section 9 of the Massachusetts General Laws so as to be permitted to construct an addition that will be located closer to the side property line than permitted as of right. The property is located in the RDB (Single Residence) zoning district and contains 12,899 +/- square feet.

WINCHESTER BOARD OF APPEALS

Petition may be viewed on the Board of Appeals web page  
[www.winchester.us](http://www.winchester.us)

Link to the meeting can be found on the Government Calendar and the Board of Appeals web page [www.winchester.us](http://www.winchester.us)

3916

RECEIVED AND FILED

2020 SEP -5 PM 3:11

TOWN CLERK  
TOWN OF WINCHESTER  
FORM 2

TOWN OF WINCHESTER  
BOARD OF APPEALS  
71 MOUNT VERNON STREET  
WINCHESTER, MASSACHUSETTS 01890  
(781) 721-7115

APPLICATION FOR  
ZONING HEARING

Application Date: September 4, 2020

The undersigned hereby petitions the Board of Appeals for the following:  
 Appeal     Variance     Special Permit Use     Special Permit/Site Plan Review  
 Special Permit Sign     Special Permit (Pre-existing non-conforming structure)     Site Plan Review

Property Address **43 Glen Road**                      Zoning District: **RDB**

Area of Lot: **12,899 sf**                      Frontage: **87.91'**                      Year Built: **1932**

Street Frontage is  Public Way     Subdivision Control Way     Private Way

Petitioner's Name: **John B. Miller**                      Address: **43 Glen Road  
Winchester, MA 01890**

Name \_\_\_\_\_ Address \_\_\_\_\_

Name \_\_\_\_\_ Address \_\_\_\_\_

Brief Description of Work:

**Construction of: a two-story addition in the rear yard of the property, above an existing deck; a two-story addition connecting the existing detached garage with the existing single family residence; and, a porch along a portion of the front façade of the existing single family residence.**

Applicants for an Appeal must complete Form 2A

Applicants for a Variance must complete Form 2B

Applicants for a Special Permit Use must complete Form 2C

Applicants for a Special Permit/Site Plan Review or Site Plan Review must complete Form 2D

Applicants for a Special Permit Sign must complete Form 2E

Applicants for a Special Permit Pre-existing Nonconforming 1 or 2 Family must complete Form 2F

Applicants for a Special Permit Pre-existing Non-conforming Other must complete Form 2G

**FORM 2**

The undersigned is (X) the owner of the subject property; or ( ) the holder of a written option to purchase the subject property, or ( ) the holder of a valid lease to the subject property. (Written authorization from the property owner must be submitted with the other application documents when the applicant is not the record owner of the property).

Record title to the subject property stands in the names of: **John B. Miller and Karen A. Kinnaman.**

Address of owner of record: **43 Glen Road, Winchester, MA 01890.**

Title Reference:

(Unregistered land) Middlesex County Registry of Deeds: Book 65795, Page 573

(Registered land) Land Court Certificate of Title No.: N/A

Date of Recording: **July 27, 2015**

State briefly what building and structures currently exist on the premises:

**One and one-half story, wood frame, single family residence and detached one-car garage**

Attorney, agent, or other representative acting for petitioner:

Name: **Molly K. McDougal** Address: **165 Washington St, Winchester, MA 01890**

Written evidence of agent's standing to represent petitioner may be requested.

Signed as a statement of fact under the pains and penalties of perjury, this 4 <sup>th</sup> day of September, 2020.	
SIGNATURE _____ (Petitioner/Agent)	SIGNATURE <u>John B. Miller</u> (Property Owner/Agent)
Address _____	Address: 43 Glen Road, Winchester, MA 01890
Tel No. _____	Tel No. (617) 549-2081
Email address _____	Email address: jbmiller3@gmail.com

*Note: Do not attempt to discuss the merits of your case with any member of the Board of Appeals at any time after filing this application and prior to the hearing thereon.*

TOWN OF WINCHESTER  
BOARD OF APPEAL  
71 MOUNT VERNON STREET  
WINCHESTER, MASSACHUSETTS 01890  
(781) 721-7115

SUPPORTING STATEMENT  
REQUESTED FINDINGS

FORM 2F  
SPECIAL PERMIT  
(Non-conforming)  
(1 and 2 Family)

Petitioner **John B. Miller** seeks a Special Permit under Section 3.5 of the Winchester Zoning By-Law for the property located at **43 Glen Road** and asks that the Board of Appeal make the following findings of fact in accordance with the provisions of Sections 3.5 and 9.4 of the Winchester Zoning By-Law and Massachusetts General Laws, Chapter 40A, Section 9.

1. The existing structure is non-conforming as to certain minimum yard set-back(s), lot area, lot frontage or lot width as follows:

**The existing structure is non-conforming as to certain minimum side yard set-back requirements. The southeasterly corner of the existing structure is 11.0 feet from the easterly side yard set-back, at its nearest point, where a set-back of 15 feet is required under the Zoning By-Law. In addition, the detached one-car garage, located in the westerly side yard, is 4.7 feet from the westerly side yard set-back, at its nearest point, where a set-back of 5 feet is required under the Zoning By-Law.**

2. The evidence that the non-conformity pre-dates the yard set-back, lot area, lot frontage or lot width requirement of the Zoning By-Law or was permitted under relief granted by the Board of Appeal is:

**The existing structure was constructed in 1932, prior to the enactment of the current Town of Winchester Zoning By-Law.**

3. The proposed enlargement or extension of the structure will not be substantially more detrimental to the neighborhood than the existing non-conforming structure because:

**The proposed extension will be constructed to create an attractive, well-designed single-family home, in keeping with the scale and style of existing homes in this neighborhood.**

4.

(a) Community needs which are served by the proposal;

**The proposed extension will increase the value of the property, thereby providing additional tax revenue to the Town. More importantly, the proposed extension will provide room for a growing family, with significant connections to the Winchester community. The Petitioner, born and raised in Winchester, purchased the Property with his wife in 2015. Soon thereafter, the couple started a family, which now includes three young children. Both practicing physicians, the Petitioner and his wife also volunteer at their children's school and in their local church. By creating additional space and improved functionality to accommodate a growing family, the proposed extension will permit the Petitioner and his wife to remain in their home of five years, and continue their contributions to the Winchester community.**

(b) Traffic flow and safety, including parking and loading;

**The proposed extension will create an additional garage space for a second vehicle, as well as covered access from the new garage to the existing structure. Thus, the proposed extension will facilitate safe and protected parking, loading, and unloading of vehicles.**

(c) Adequacy of utilities and other public services;

**The proposed extension will feature updated utility connections and fixtures, all of which will comply with current building code requirements.**

(d) Impacts on neighborhood character, including the extent to which:

(i) Building forms and materials are compatible with the prevailing scale and character of buildings in the neighborhood;

**The scale of the structure, with the proposed extension, will be compatible with the scale of other homes in this neighborhood. In addition, the proposed extension will result in a single family home similar in character to other properties in the neighborhood. The shake roof, cedar siding and trim will match the existing roof, siding and trim, thus creating a seamless transition between the existing structure and the extension. New columns and railings will match the existing trim, and wood-finish garage doors will maintain the character of the existing home. Thus, the proposed extension will be compatible with both the scale of other homes in the neighborhood, as well as the attractive, cohesive style of these residences.**

- (ii) Architectural features add visual character to the neighborhood (for example, dormers, lintels, bay windows, open porches, chimneys); and

**The proposed extension incorporates details which add visual character to the existing structure and to the neighborhood. A new front porch, with complementary columns and railings, will create architectural interest; the utilization of wood-finish garage doors will respect the Colonial style of the home; and, an unused chimney will be removed and replaced with a new chimney, thereby creating visual character while improving function.**

- (iii) Patterns and proportions of windows are consistent;

**The windows selected for the proposed extension will match the windows of the existing structure, thus maintaining the cohesion and proportion of the entire home.**

- (e) Adequacy of proposed screening and buffering;

**The proposed extension will not require the removal of any shrubs or trees, including those which provide buffering for adjacent properties. The small bushes, currently located along the front façade of the dwelling, will be moved forward to accommodate the proposed porch. Once moved, these bushes will replace the brick walkway which runs parallel to the front façade. Several hostas, currently located between the detached garage and the westerly façade of the dwelling house, will be transplanted in other locations around the property.**

- (f) Impacts on the natural environment, including but not limited to, changes in topography, installation of retaining walls, or the removal of mature trees;

**The proposed extension will not result in changes to topography, installation of retaining walls or the removal of mature trees.**

- (g) Fiscal impacts, including impact on town services, tax base and employment; and

**As stated above, the proposed extension will increase the value of the property, thereby providing additional tax revenue to the Town.**

Winchester Board of Appeals  
Form 2F

(h) Impacts of Historic Resources, as defined in Section 10 of this Bylaw.

N. A.

NOTE: It is anticipated that many of the above questions may be answered by the submission of plans.

If the SPGA disagrees with the recommendation of any other town agencies or officials, it shall explain its position in its written decision.

The rights authorized by a special permit expire two years from the date the decision is filed with the Town Clerk unless exercised or extended in accordance with the terms of Massachusetts General Laws, Chapter 40A, Section 9.

Date: September 4, 2020

SIGNATURE:   
Molly K. McDougal

Address: Murray & Quill, P.C.  
165 Washington Street  
Winchester, MA 01890

Tel No. (781) 729-5115



TOWN OF WINCHESTER  
ENGINEERING DEPARTMENT  
71 MT. VERNON STREET, WINCHESTER, MA  
PHONE 781-721-7120

**TO:** Zoning Board of Appeals

**FROM:** Beth Rudolph, PE – Town Engineer

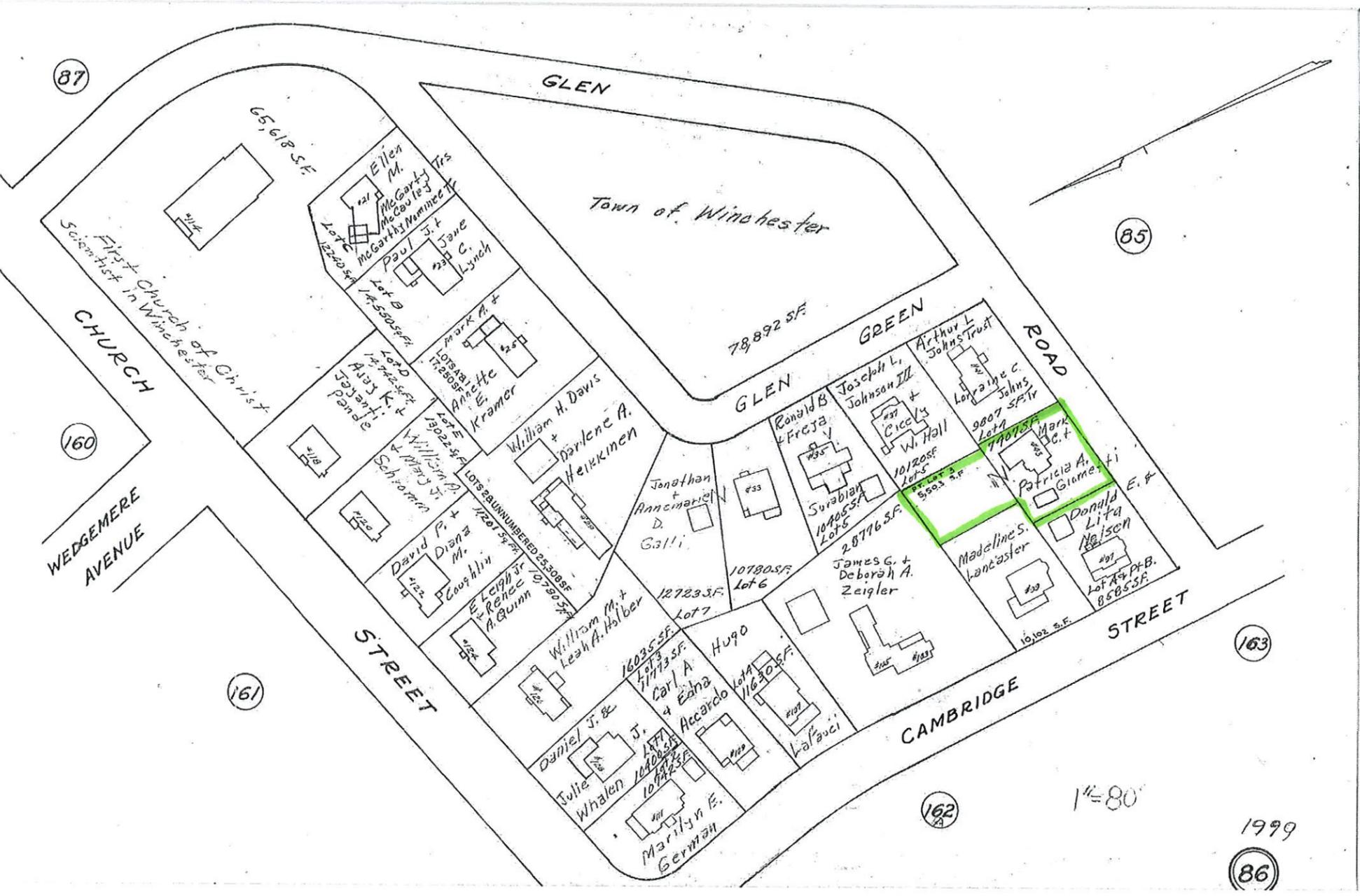
**DATE:** October 7, 2020

**RE:** Petition 3916 – 43 Glen Road

The Engineering Department has reviewed the Special Permit application for the above-referenced property, which includes the construction of an addition that will be located closer to the side property line than is permitted as of right.

The applicant has provided documentation to show that the project will reduce the overall impervious area on the site by approximately 165 square feet through the removal of a deck, and brick and stone walkways. Based on this reduction, there are no additional stormwater controls required for this project.

If this impervious area calculation changes either during the ZBA permitting process or before the building permit is issued, the applicant should return the plans to the Engineering Department for review.



87

85

160

161

163

162

1"=80'

1999

86

GLEN

Town of Winchester

78,892 SF

GLEN

GREEN

ROAD

CHURCH

WEDGEMERE AVENUE

STREET

CAMBRIDGE STREET

65,618 SF

Ellen M. Trs  
McCarthy  
McCauley  
McCarthy  
Munnich  
Paul J. +  
Jane C. Lynch

Aisy K. +  
Joyant  
poude

David P. +  
Diana M.

Leigh Jr.  
Renee A. Quinn

William M. +  
Leah A. Holber

Julie Whalen

Marilyn E. German

William H. Davis +  
Darlene A. Heikinen

Jonathan Annemarie D. Galli

12723 SF Lot 7

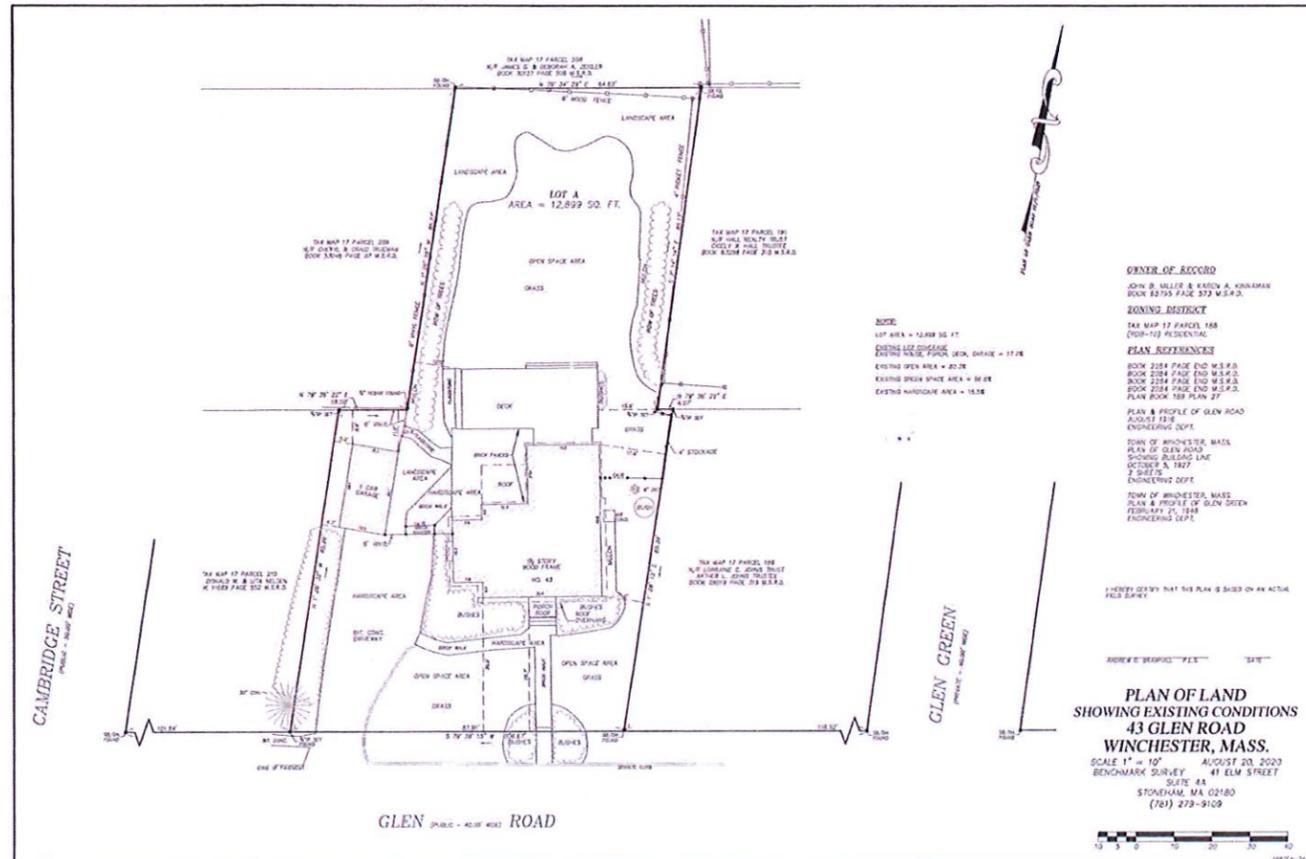
10780 SF Lot 6

10720 SF Lot 5

# Miller 43 Glen Road Landscaping Plan

September 1, 2020

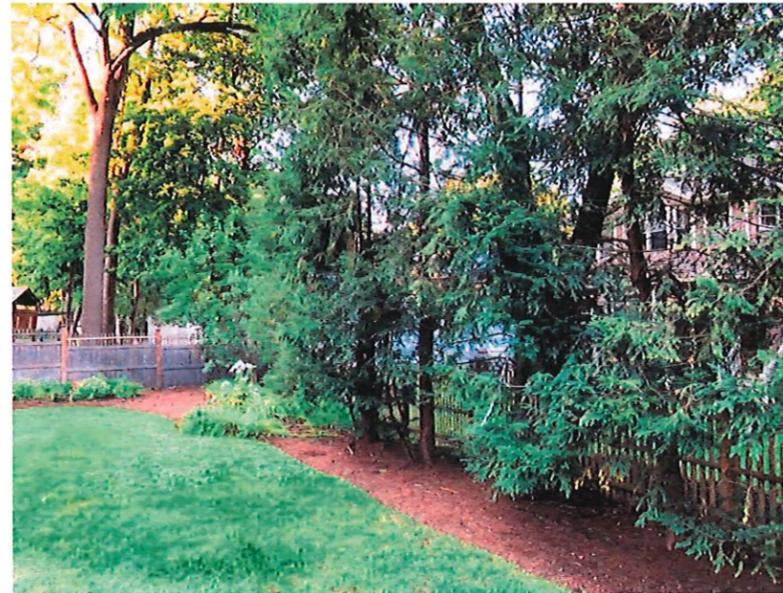
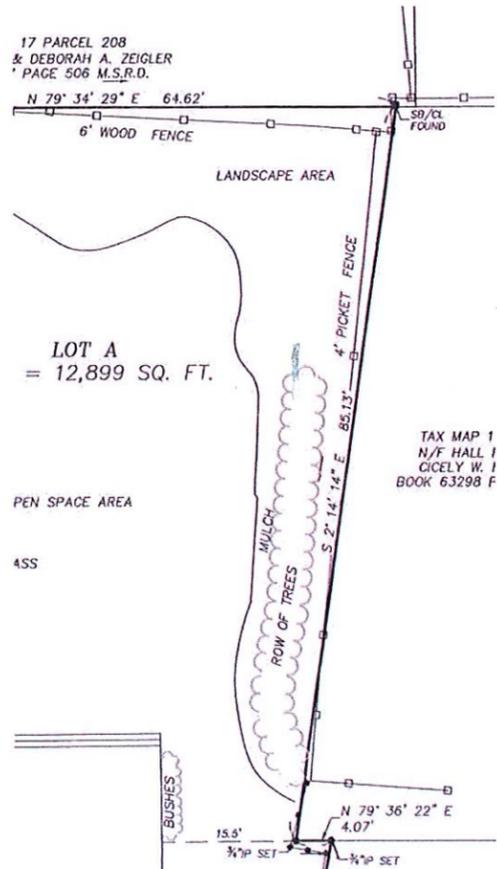
# Existing Field Survey



## Landscaping Summary

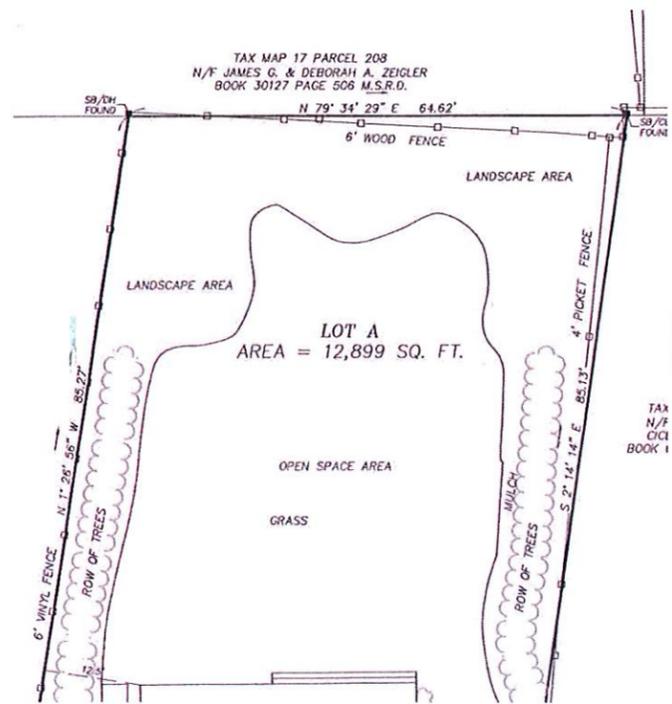
- Enlarge/Add to rear lawn in area of existing west side of rear deck and rear flag stone walk way
- No other changes to rear of lot
- Move front bushes forward to area of existing side brick walk that will be removed
- All trees untouched
- All bushes on boundaries untouched

# No change to Existing Rear Trees, Grass, and Mulch Beds



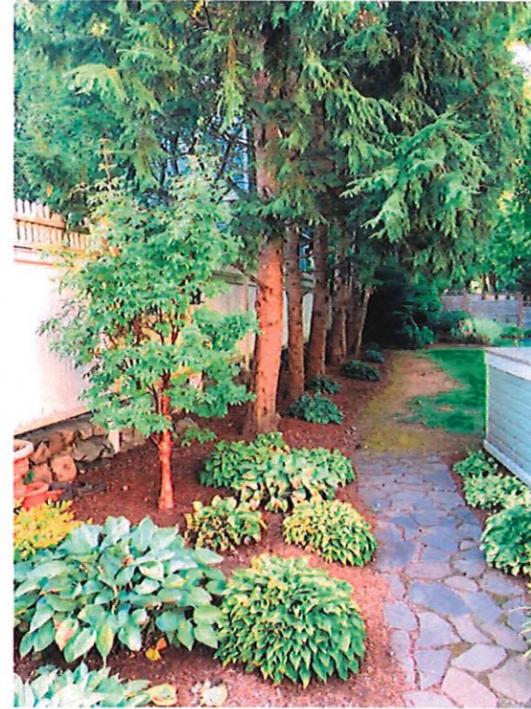
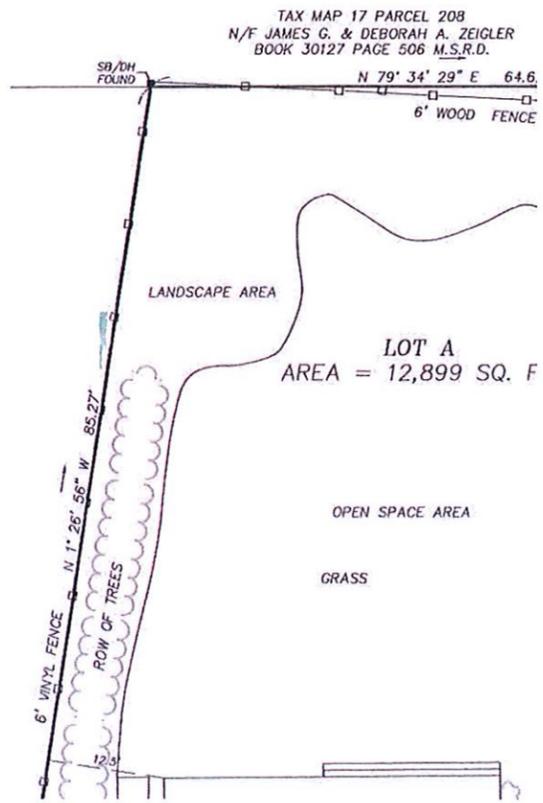
Rear East Border Trees and Flower Beds

# No change to Existing Rear Trees, Grass, and Mulch Beds



Rear Center Trees, Lawn, and Flower Beds

# No change to Existing Rear Trees, Grass, and Mulch Beds

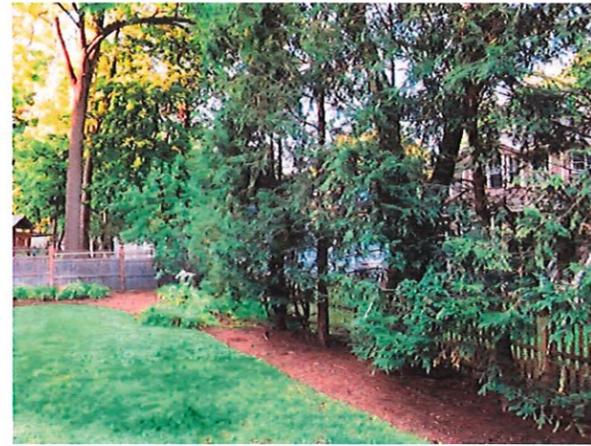


Rear West Trees, Lawn, and Flower Beds

Replace West side of Deck and Rear Flagstone with Enlarged Grass Lawn

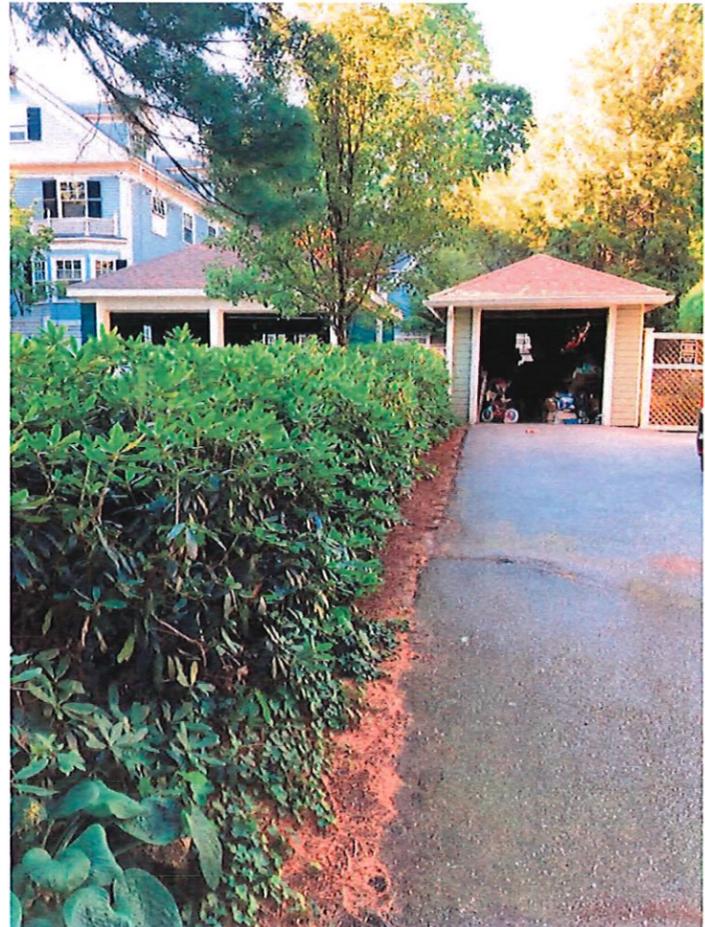
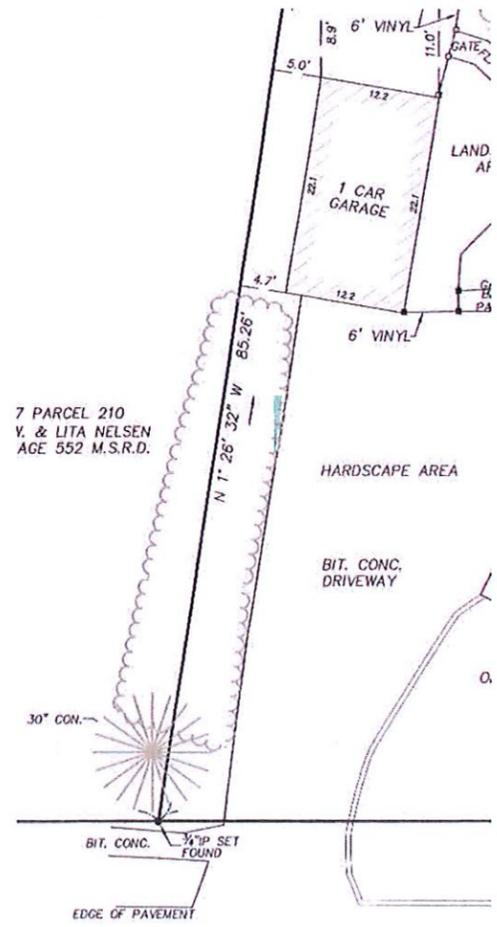


## Transplant Hostas in area of new Garage to East Side Yards

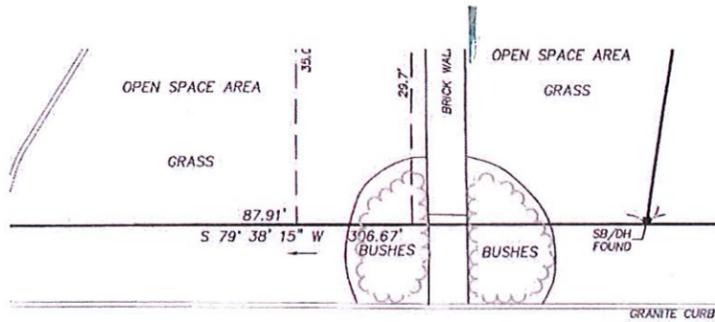


Also replace side flag stone walkway with mulch and hostas

# No Change to Rhododendrons and Border Trees Next to Driveway



# No Change to Front Lawn or Bushes by Glen Road

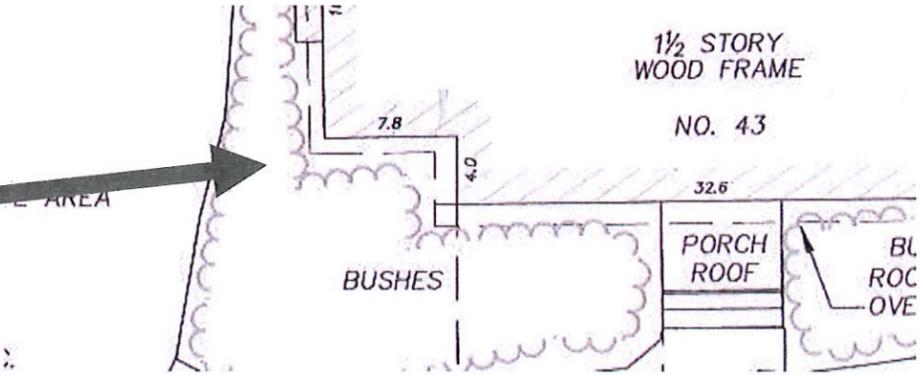
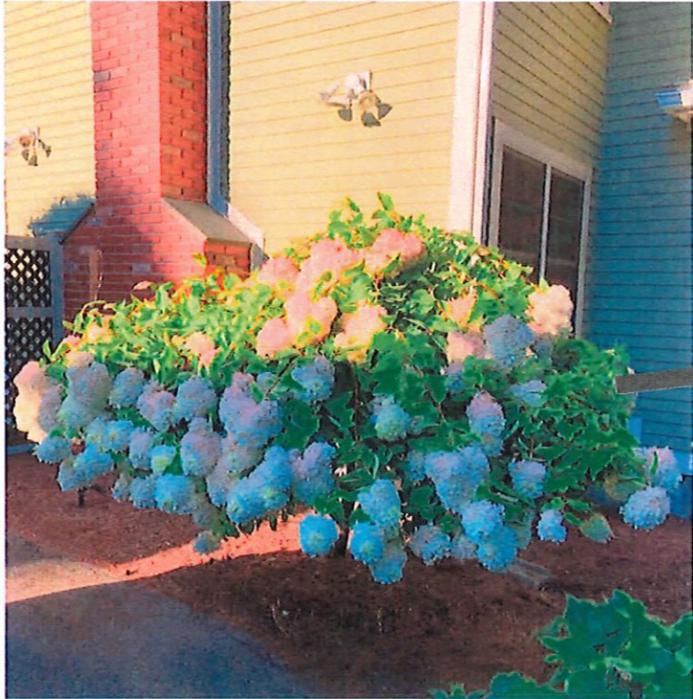


# Existing Side Brick Walkway Replaced by Bushes and Grass

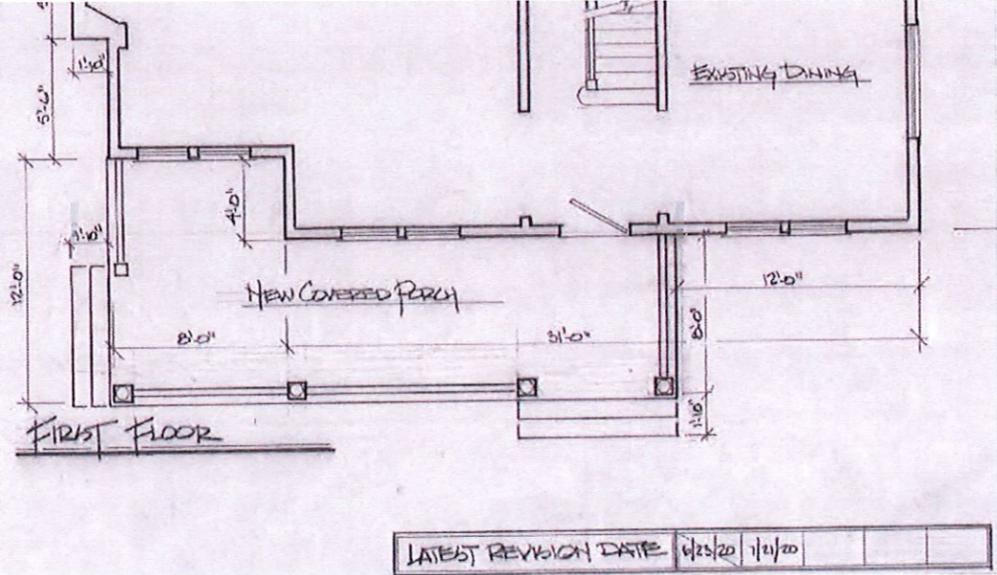


Move Existing Bushes Forward to replace brick walkway with additional grass

# Existing Hydrangea by Driveway to Remain Next to New Porch



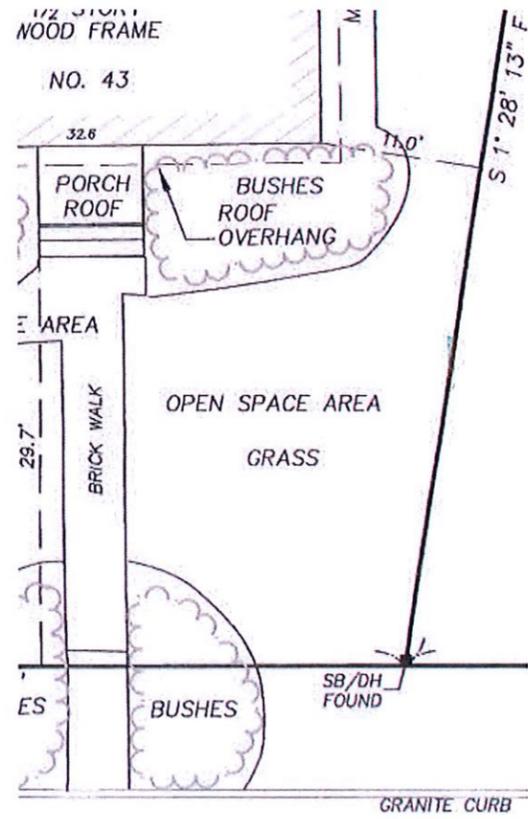
# New Porch Over Existing Mulch and Transplanted Forward Bushes



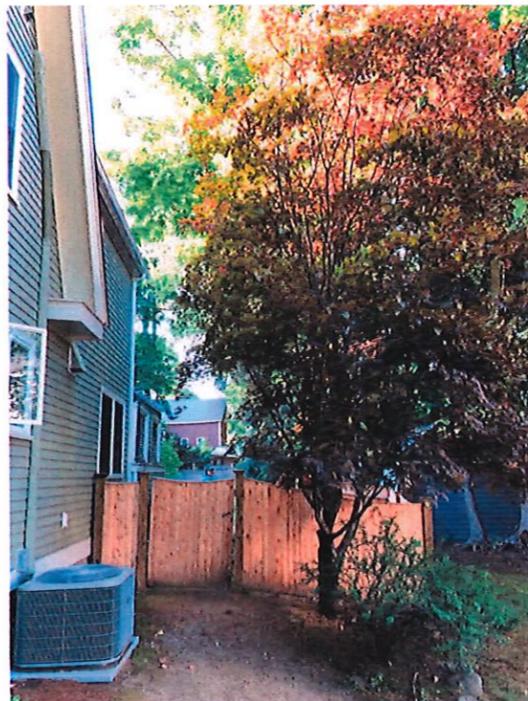
Porch designed to match style of many other homes on Glen



# No Change to Front Bushes or Lawn to East of Front Entry



No Change to East Side Yard: Trees, Bushes, Fence



Existing Japanese Maple



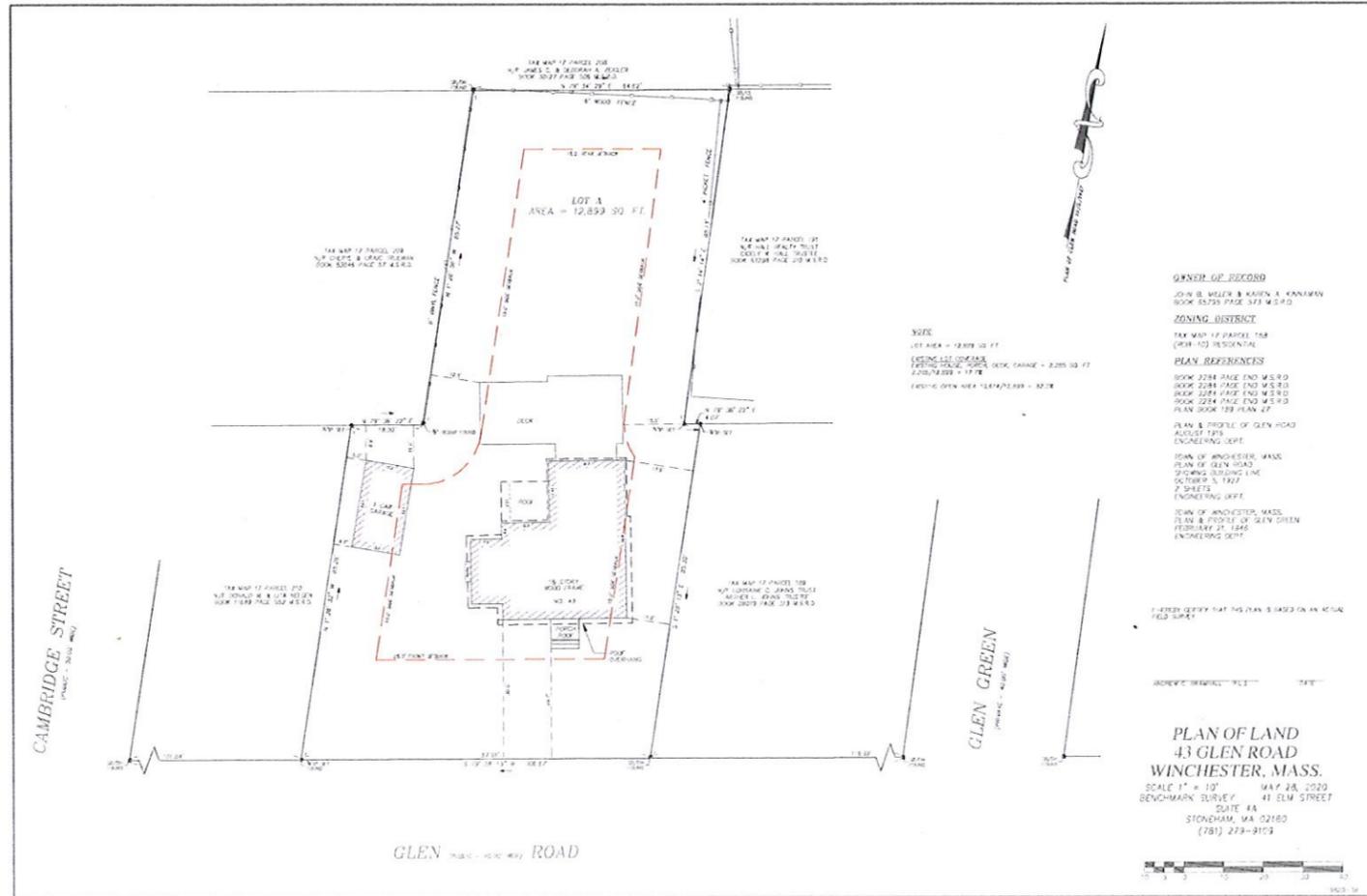
Existing Fence and Swing Set

# Miller 43 Glen Road Impervious Surface Analysis

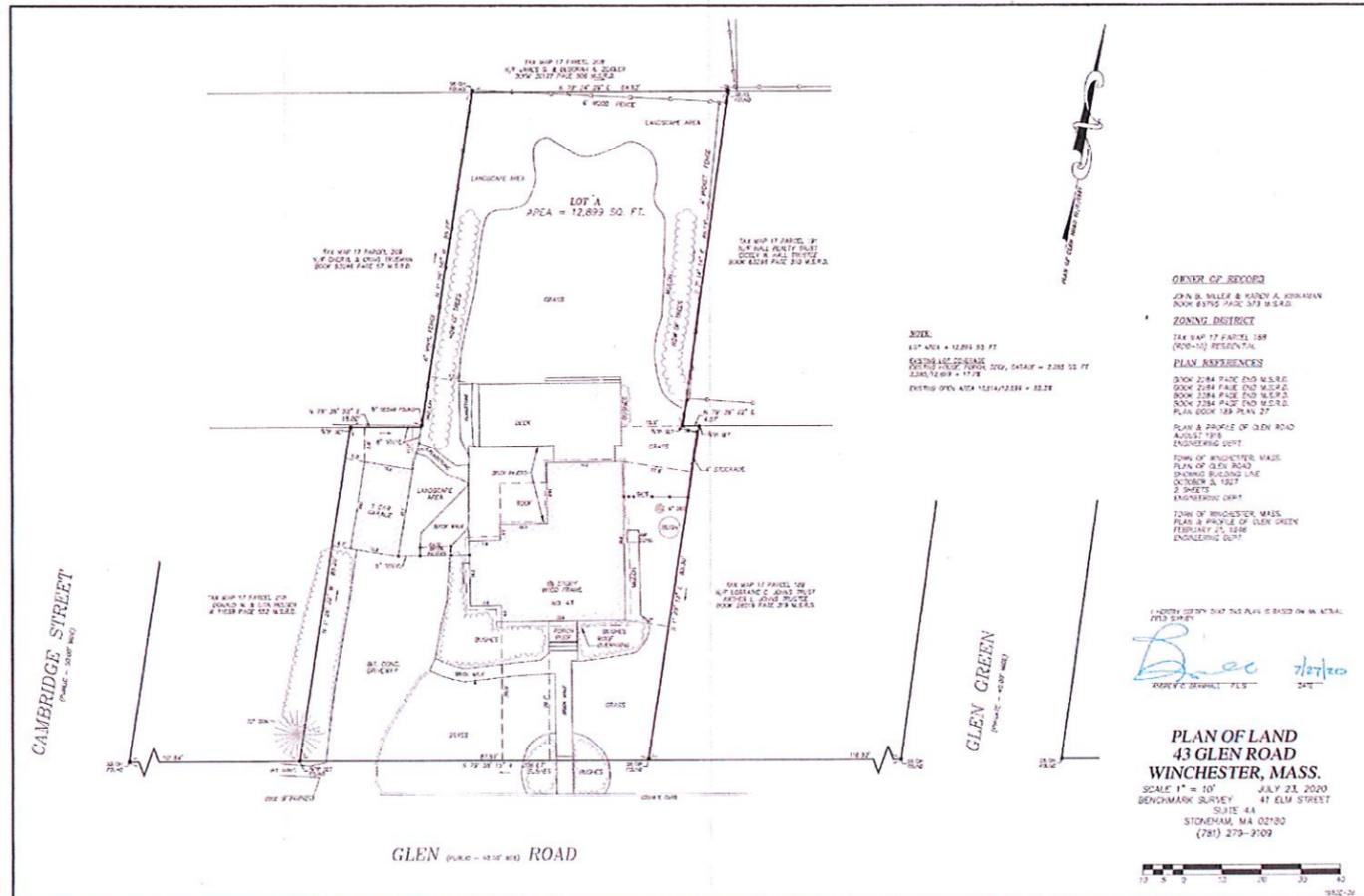
August 8, 2020



# Existing Conditions at 43 Glen Road



# Existing Field Survey with Hardscape





## Existing Large Back Deck



# Existing Paver Patio



## Existing Paver Walkway to Driveway



# Existing Side Brick Walkway to Driveway



## Impervious Surfaces to be Removed

- West side of rear deck to be removed
- Side Brick Walkway to be removed
- Side Flagstone Walkway
- Rear Flagstone Walkway
  - Photos to follow

West side of Deck to be removed  
(right side of photo)



Existing Side Brick Walkway to be Removed



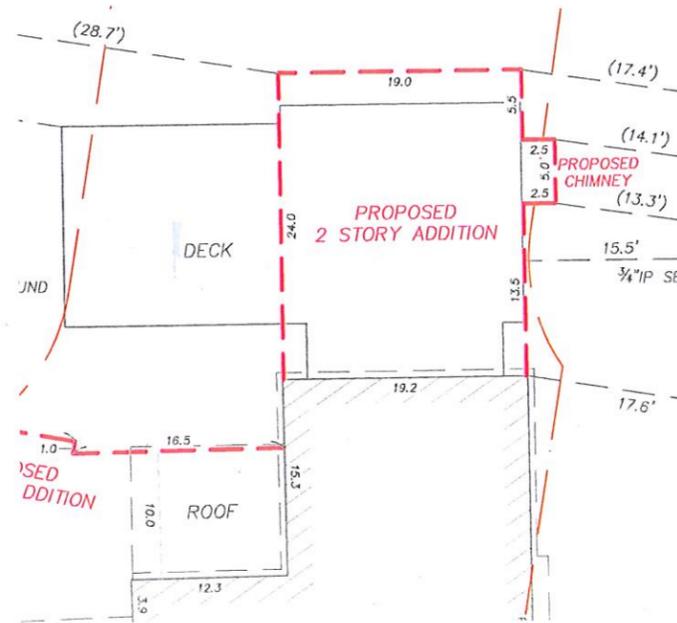
# Side Flagstone Walkway to be Removed



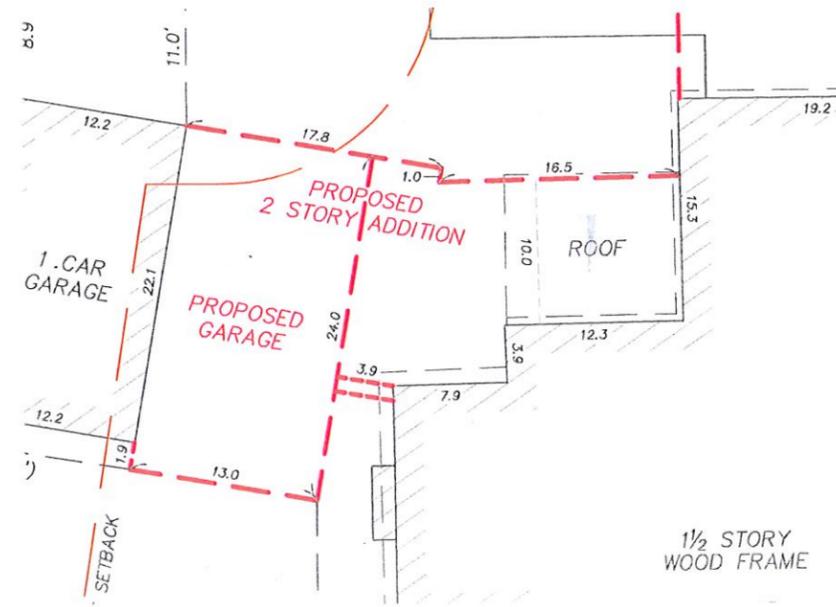
# Rear Flagstone Walkway to be Removed



# Rear Addition to be built over existing deck



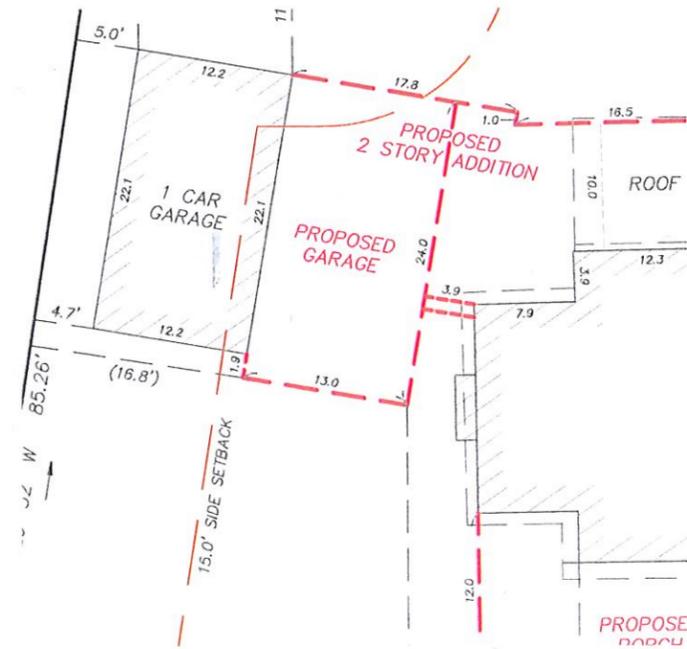
# New Mudroom Built Entirely over Existing Patio



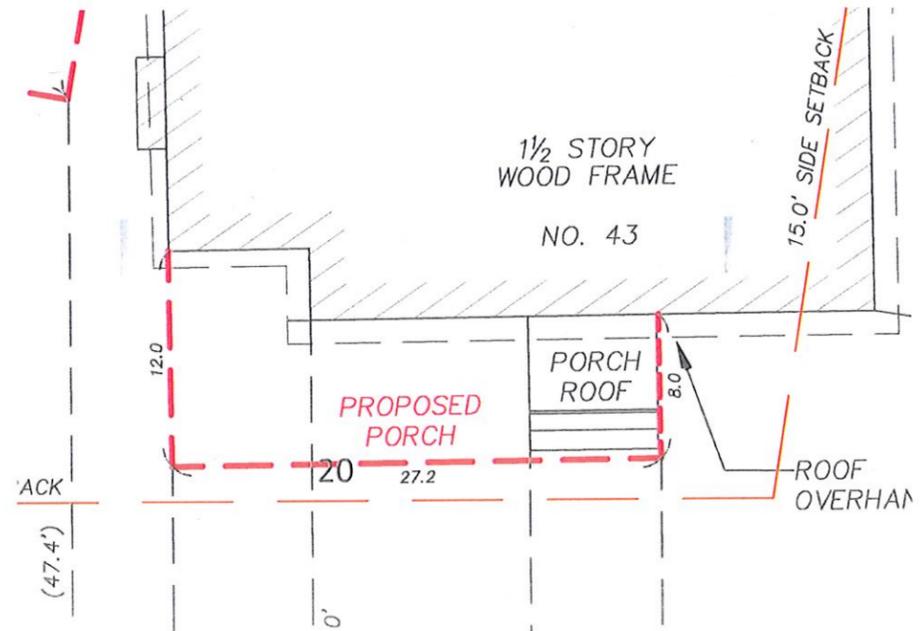
# New Garage Built on Paver Walkway and Driveway



Small Flower bed next to Garage lost



# New Porch Built over Existing Front Step and Flower Bed



Side Brick Walkway to be removed. Offsets added area of porch

# Impervious Surface Changes

## Added

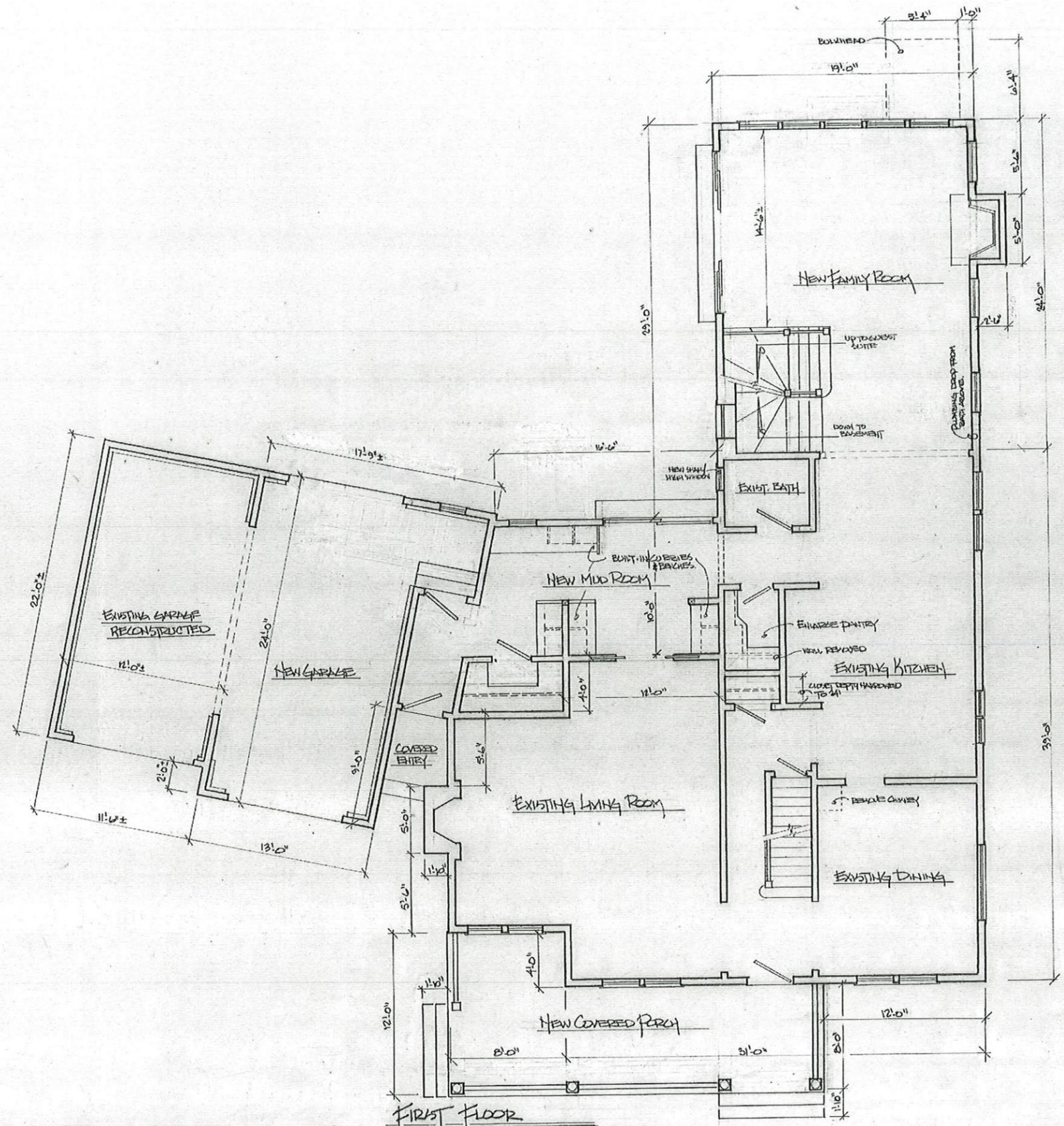
- Loss of Flower Bed Next to Garage (New Garage) =165 sq ft
- Loss of small Flower Bed behind chimney= 9 sq ft
- Very rear of Rear addition= 41 sq ft
- Loss of flower bed under new porch= 192 sq ft
- TOTAL Added= 393 sq ft

## Removed

- West Half of Deck= 17x20; 340 sq ft
- Brick Walkway= 112 sq ft
- Side Flagstone Walkway= 56 sq ft
- Rear Flagstone Walkway= 50 sq ft
- TOTAL REMOVED= 558 sq ft

## Summary: Net Reduction of Impervious Surfaces

- Add 393 sq ft of New Impervious Surfaces
- Remove 558 sq ft of Existing Impervious Surfaces
- Net Reduction of 165 sq ft of Impervious Surfaces



TOWN OF WINCHESTER ZONING BYLAW FLOOR AREA, SQ. FT. CALCULATION			
EXISTING FIRST FLOOR INCLUDING DETACHED GARAGE	= 1421 sq ft	PROPOSED FIRST FLOOR INCLUDING ALL GARAGES	= (11038 sq ft) 2453 sq ft
EXISTING SECOND FLOOR	= 1147 sq ft	PROPOSED SECOND FLOOR	= (1054 sq ft) 2201 sq ft
TOTAL EXISTING	= 2568 sq ft	TOTAL PROPOSED	= 4654 sq ft

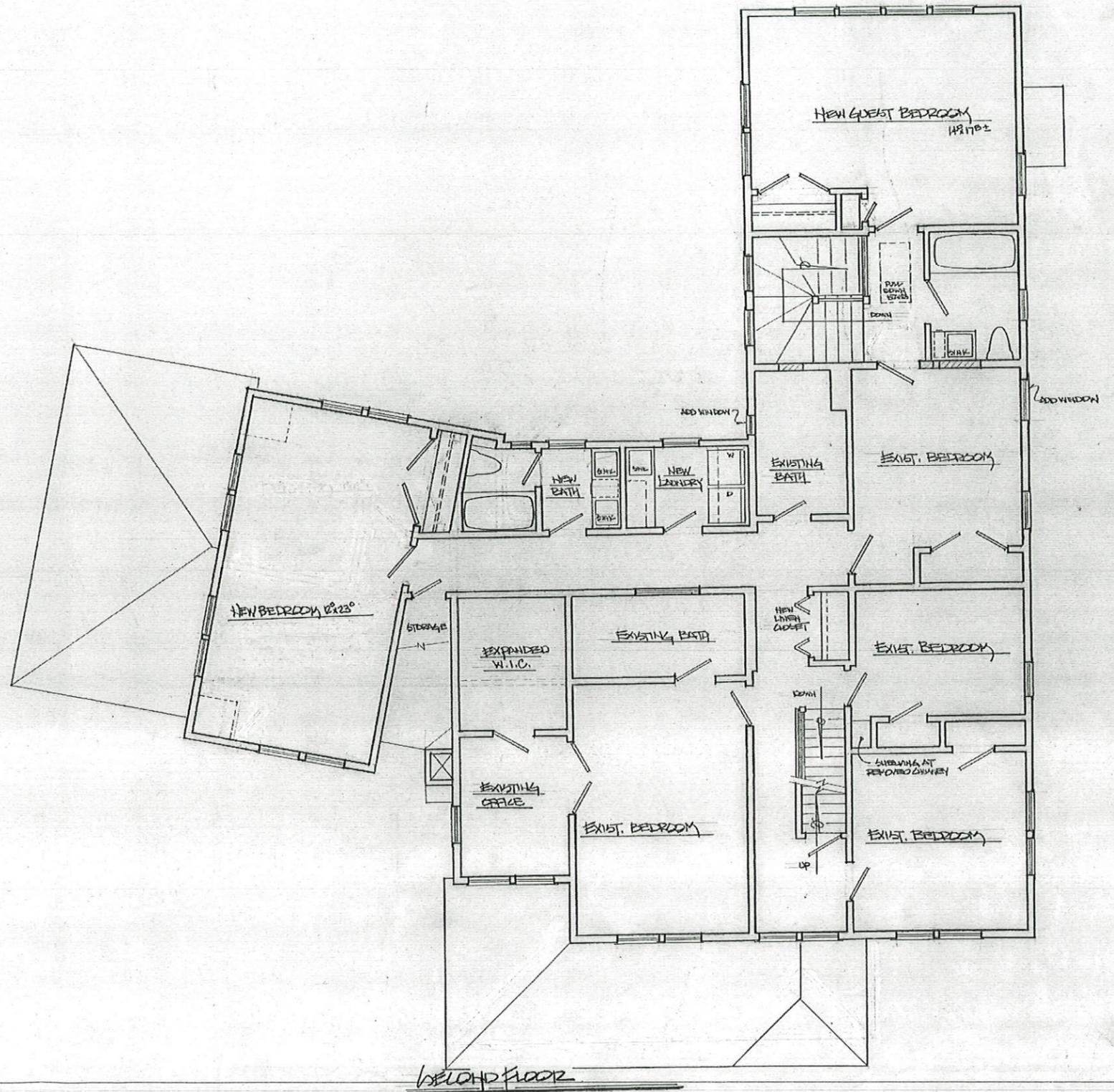
LATEST REVISION DATE	6/25/20	7/21/20

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MILLER & KINNAMAN  
43 GLEN ROAD  
WINCHESTER, MA  
Date: 3/30/20 Revised: 4/23, 6/21, 4/23  
Drawing: F101 7/21  
F101 FLOOR

Scale: 1/4" = 1'-0"  
Sheet No.: 1



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MILLER & KINNAMAN  
 43 GLEN ROAD  
 WINCHESTER, MA.  
 Date: 3/20/20  
 Drawing: 6200 FLOOR  
 1/1

Scale: 1/4" = 1'-0"  
 Sheet No.: 2



PROPOSED 19'0" FAMILY ROOM / BEDROOM ADDITION    PROPOSED 14'6" HALLWAY / ENTRY / LAUNDRY ADDITION    PROPOSED 17'9" GARAGE / BEDROOM ADDITION

NORTHERLY ELEVATION



PROPOSED 18'0" GARAGE / BEDROOM & 4'0" ENTRY    PROPOSED 27'0" COVERED PORCH

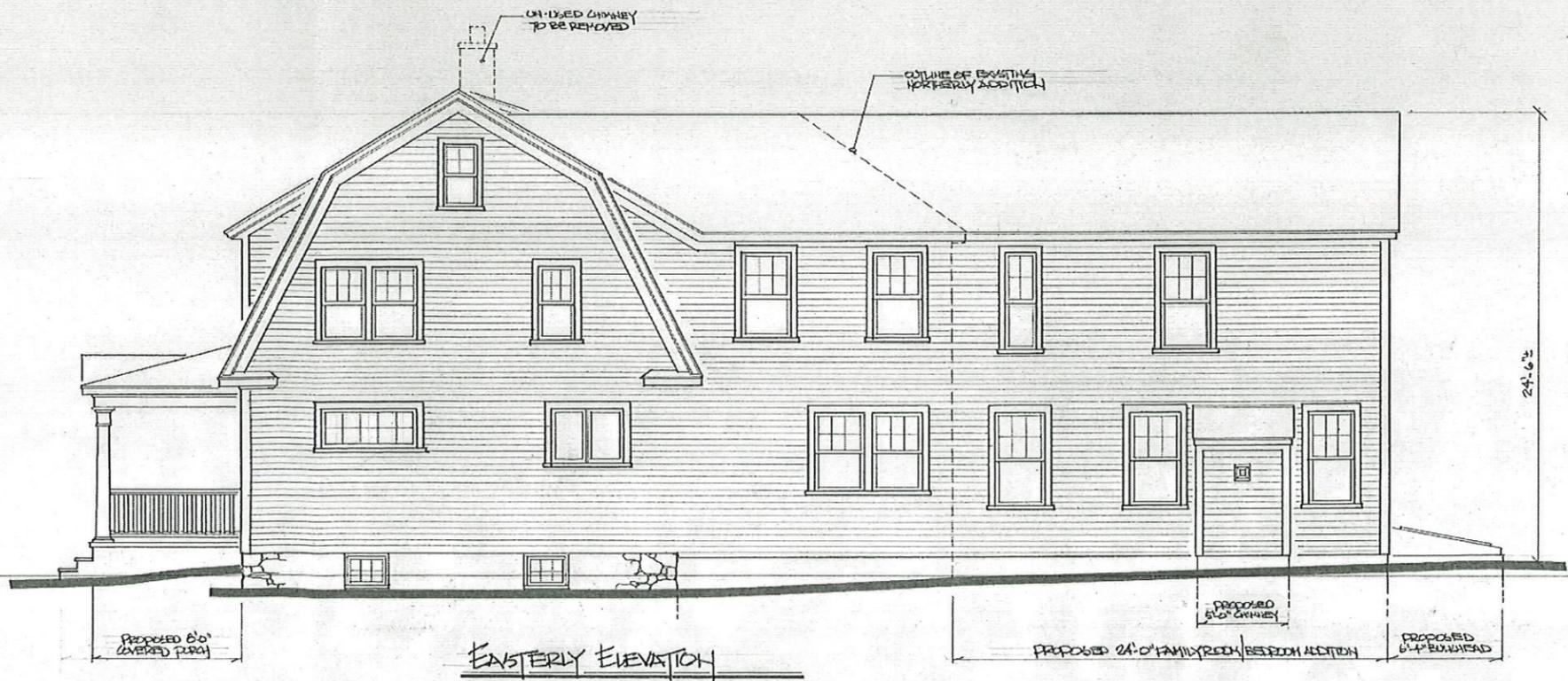
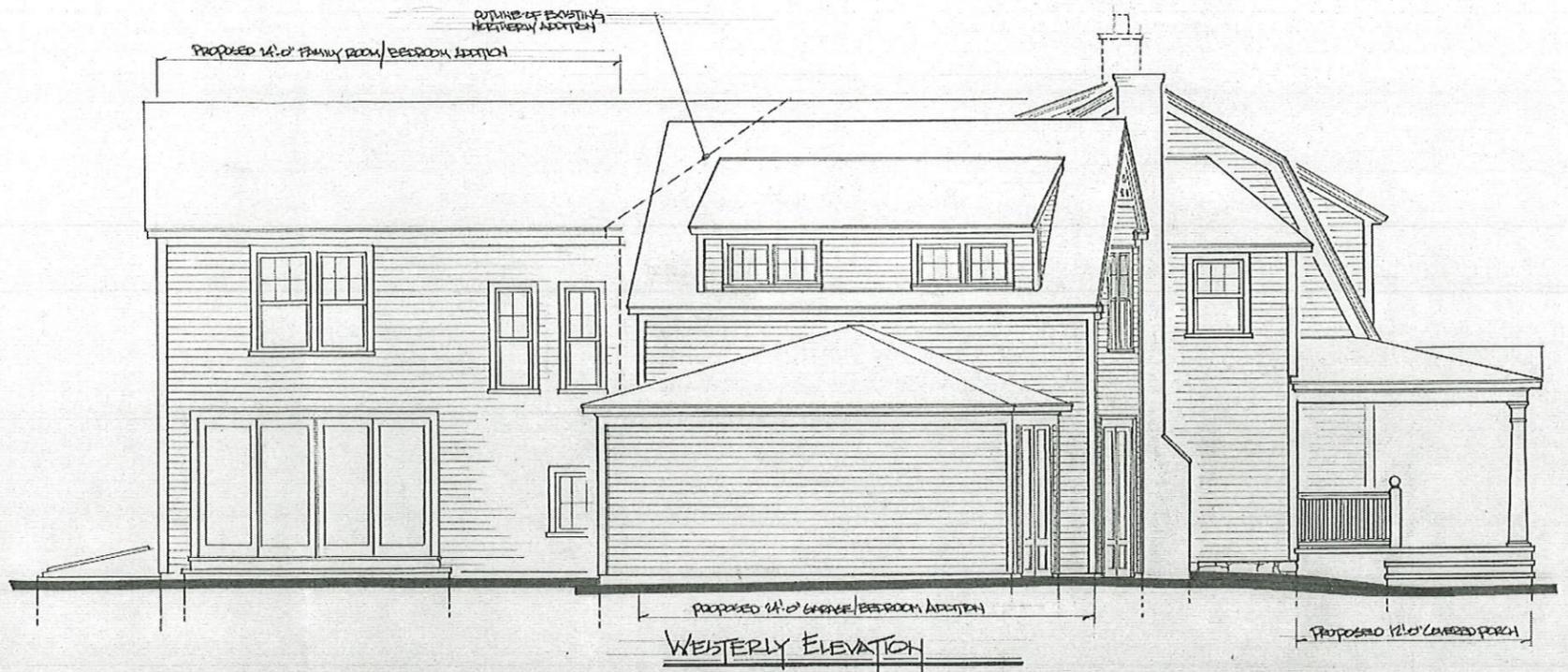
SOUTHERLY ELEVATION

PROPOSED EXTERIOR MATERIALS	
ROOFING	CEDAR TREED LUMBER PRO, RESAWN SHAKES... TO MATCH EXISTING
SIDING	1/2" CLEAR VERTICAL GRAINED CEDAR... FINISHED TO MATCH EXISTING
TRIM	1/2" X 4" OR EQUAL... FINISHED TO MATCH EXISTING
WINDOWS/DOORS	MAINTAIN INTEGRITY... TO MATCH EXISTING
BULKHEAD	2" GAZE BRICK STEEL... FINISHED TO MATCH SIDING COLOR
COLUMNS	ROUND TAPERED, PEPPERHANG OR PK... FINISHED TO MATCH TRIM
RAILINGS	COMPOSITE MATERIAL... FINISHED TO MATCH TRIM
POUCH FLOOR	TRUCK, OR EQUAL COMPOSITE FINISH... NATURAL WOOD FINISH
GARAGE DOORS	STEEL/COMPOSITE (STEEL T.B.)... NATURAL WOOD FINISH

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MILLER & KINNAMAN  
45 GLEN ROAD  
WINCHESTER, MA  
Date: 2/2/20    Revised: 4/23, 5/21, 4/23  
Drawing: ELEVATIONS    1/21  
Scale: 1/4" = 1'-0"  
Sheet No.: 3



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MILLER & KINNAMAN  
 43 GLEN ROAD  
 WINCHESTER, MA.  
 Date: 6/23/20 Revised: 7/21  
 Drawing: ELEVATIONS  
 Scale: 1/4"=1'-0"  
 Sheet No.: 4

Re: Town of Winchester  
Board of Appeals  
Petition for Special Permit regarding property located at  
43 Glen Road, Winchester, Massachusetts

Dear Members of the Winchester Board of Appeals:

Please be advised that we are in favor of the above-referenced Petition to allow construction of: a two-story addition in the rear yard of the property, above an existing deck; a two-story addition connecting the existing detached garage with the existing single family residence; and, a porch along a portion of the front façade of the existing single family residence.

Name:

Address:

Michael L. Wickenham	46 Glen Rd
Walter S. Miller	46 Glen Rd.
Don Nelson	97 Cambridge St
Kim Doulos	50 Glen Rd
Todd Orban	5 Glen Rd.
Harvey Zamore	12 Glen Rd.
Jim Boudreau	2 GLEN RD
Arthur John	41 Glen Rd
Paul H.	38 Glen Rd
Kevin A. Lewin	38 Glen Rd
Michelle Marshall	40 Glen Rd
Cindy McFall	37 Glen Green
[Signature]	44 Glen Rd
[Signature]	25 Glen Green

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Name:

Address:

Susan Livada	30 Glen Road, Winchester
Nick [unclear]	30 GLEN RD, WINCHESTER
Michael Gallagher	30 Glen Rd. Winchester
Nancy Livada	30 Glen Rd, Winchester
Renée & Craig Muse	26 Glen Rd. Winchester
Sarah & Brian Doherty	14 Glen Rd. Winchester
Katie & Jake Gaul	6 Glen Road Winchester
Siobhan & Scott Andrews	22 Glen Rd, Winchester
Kerry & Brad Boyd	18 Glen Rd, Winchester, MA
Jon & AnnMarie Gaul	33 Glen Green, Winchester MA
Jeff. Boyle O'Grady	27 Glen Green Wund

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Board of Appeals  
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Name:

Address:

Jill McGaffigan 30 Glen Road

Stewin Volrube "

Linda Narekian 34 Glen Rd.

Thomas Narekian Jr. 34 Glen Rd.

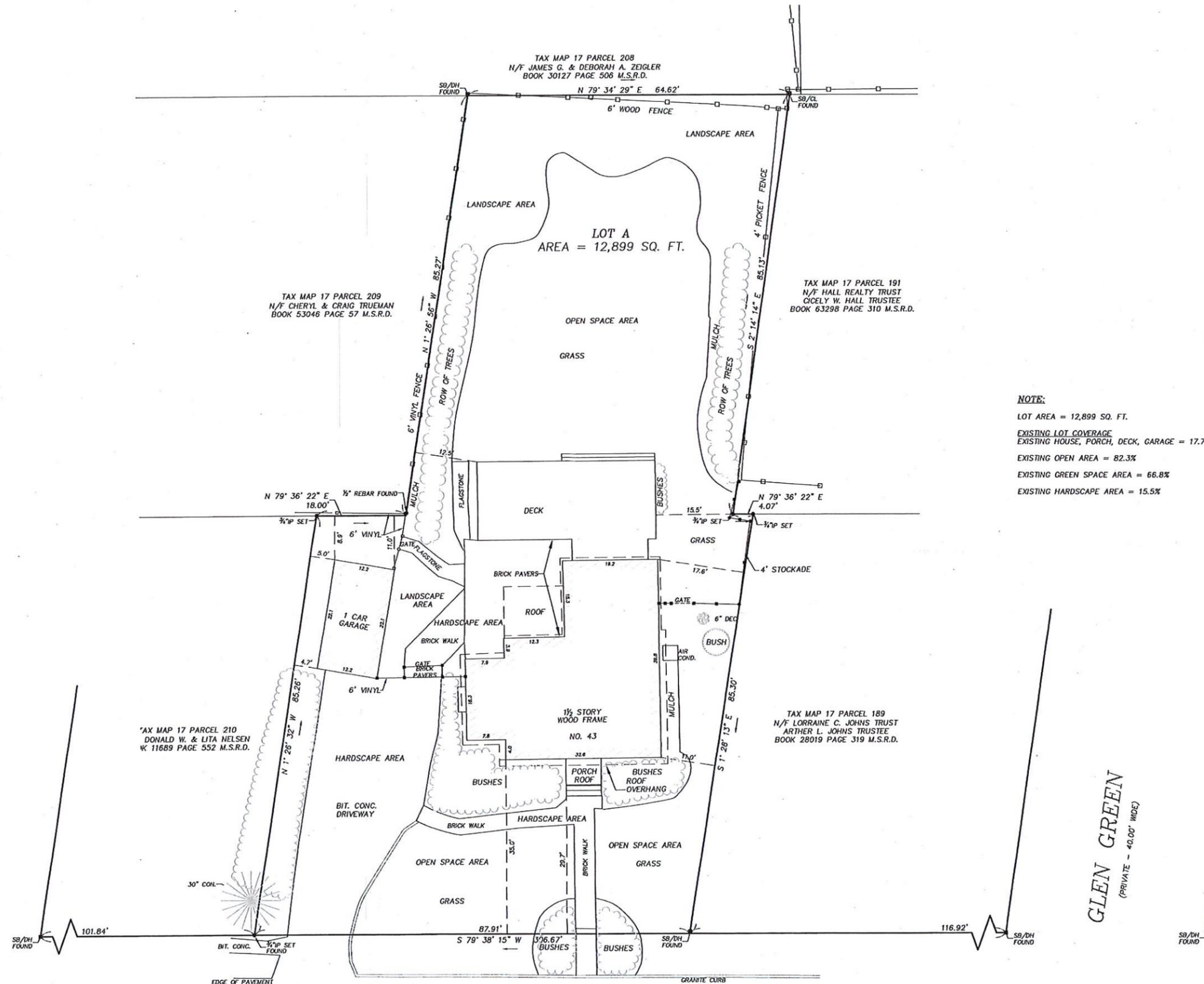












PLAN OF GLEN ROAD 10/15/1927

**NOTE:**  
 LOT AREA = 12,899 SQ. FT.  
 EXISTING LOT COVERAGE  
 EXISTING HOUSE, PORCH, DECK, GARAGE = 17.7%  
 EXISTING OPEN AREA = 82.3%  
 EXISTING GREEN SPACE AREA = 66.8%  
 EXISTING HARDSCAPE AREA = 15.5%

**OWNER OF RECORD**  
 JOHN B. MILLER & KAREN A. KINNAMAN  
 BOOK 65795 PAGE 573 M.S.R.D.

**ZONING DISTRICT**  
 TAX MAP 17 PARCEL 188  
 (RDB-10) RESIDENTIAL

**PLAN REFERENCES**  
 BOOK 2284 PAGE END M.S.R.D.  
 PLAN BOOK 189 PLAN 27

PLAN & PROFILE OF GLEN ROAD  
 AUGUST 1916  
 ENGINEERING DEPT.

TOWN OF WINCHESTER, MASS.  
 PLAN OF GLEN ROAD  
 SHOWING BUILDING LINE  
 OCTOBER 5, 1927  
 2 SHEETS  
 ENGINEERING DEPT.

TOWN OF WINCHESTER, MASS.  
 PLAN & PROFILE OF GLEN GREEN  
 FEBRUARY 21, 1946  
 ENGINEERING DEPT.

I HEREBY CERTIFY THAT THIS PLAN IS BASED ON AN ACTUAL FIELD SURVEY.



Andrew C. Bramhall P.L.S. 9/2/20 DATE

**PLAN OF LAND  
 SHOWING EXISTING CONDITIONS  
 43 GLEN ROAD  
 WINCHESTER, MASS.**

SCALE 1" = 10' AUGUST 20, 2020  
 BENCHMARK SURVEY 41 ELM STREET  
 SUITE 4A  
 STONEHAM, MA 02180  
 (781) 279-9109







RECEIVED  
WINCHESTER ENG DEPT.

2020 SEP 11 AM 11:51

BOARD OF APPEALS

NOTICE OF PUBLIC HEARING

The WINCHESTER BOARD OF APPEALS will hold a REMOTE PARTICIPATION PUBLIC HEARING on OCTOBER 15, 2020 at 7:00 P.M. on the following matter:

PETITION NO. 3915 - That of STEVE MEINELT concerning the property at LOT 1 ABBY ROAD, WINCHESTER, MA. The petitioner is seeking a Dimensional Variance from Section 4.0 of the Winchester Zoning By-Law in accordance with Chapter 40A, Section 10 of the Massachusetts General Laws so as to be permitted to construct a new single family dwelling that will be located closer to the front property line than permitted as of right. The property is located in the RDB (Single Residence) zoning district and contains 10,151 +/- square feet.

WINCHESTER BOARD OF APPEALS

Petition may be viewed on the Board of Appeals web page [www.winchester.us](http://www.winchester.us)

Link to the meeting can be found on the Government Calendar and the Board of Appeals web page [www.winchester.us](http://www.winchester.us)



TOWN OF WINCHESTER  
ENGINEERING DEPARTMENT  
71 MT. VERNON STREET, WINCHESTER, MA  
PHONE 781-721-7120

**TO:** Zoning Board of Appeals

**FROM:** Beth Rudolph, PE – Town Engineer

**DATE:** October 8, 2020

**RE:** Petition 3915 – 1 Abby Road

The Engineering Department has reviewed the Special Permit application for the above-referenced property, which includes the construction of a new single-family home that will be located closer to the front property line than permitted as of right.

This lot was created as part of the recent Abby Road subdivision that was approved by the Planning Board in February 2019. The project included the transfer of land between the Town of Winchester and the subdivision developer, Five Points Development LLC, and a required Development Agreement between the developer, or their assigns, and the Select Board. Section I.E of the Agreement requires the developer to apply to the ZBA for a front setback variance to construct the houses on Lots 1 – 5 (see below). The Engineering Department has no comment on the variance request, but does note that the intent of the Select Board in including this item in the agreement was to provide additional buffer between the Abby Road development and the abutting properties on Dana Avenue and Highland Avenue.

- E. Five Points shall apply to the Zoning Board of Appeals for a front setback variance in order to construct the houses on Lots 1-5 abutting Dana Avenue at least 5 feet closer to the Road (defined below) than is allowed under the Zoning Bylaw. However, a decision by the Zoning Board of Appeals granting such variance shall not be a Closing Condition under this Agreement.

The subdivision design included drainage provisions for the rooftop runoff from the respective houses on each lot with building footprints up to 1600 square feet. The applicant notes that the proposed house has a footprint of 2760 square feet, and therefore, has proposed to install an additional infiltration system on the property to accommodate the increased runoff. If installed and maintained properly, the infiltration system should mitigate the increased stormwater runoff from the site.

If approved, the Engineering Department recommends that the ZBA include a condition in their development requiring the applicant to provide an as-built plan of the infiltration system, and a certification from a Professional Engineer stating that the system has been installed in substantial compliance with the approved design, and will operate as intended.

3915

RECEIVED AND FILED

2020 SEP -5 PM 3:10

TOWN OF WINCHESTER  
BOARD OF APPEALS  
71 MOUNT VERNON STREET  
WINCHESTER, MASSACHUSETTS 01890  
(781) 721-7115

TOWN CLERK  
TOWN OF WINCHESTER  
FORM 2

APPLICATION FOR  
ZONING HEARING

Application Date 8/27/2020

The undersigned hereby petitions the Board of Appeals for the following:  
 Appeal     Variance     Special Permit Use     Special Permit/Site Plan Review  
 Special Permit Sign     Special Permit (Pre-existing non-conforming structure)     Site Plan Review

Property Address Abby Rd. Lot 1    Zoning District RDB  
Area of Lot 10,151 SF    Frontage 90.51'    Year Built N/A  
Street Frontage is  Public Way     Subdivision Control Way     Private Way

Petitioner's Name Steve Meinelt    Address 11 Dana Ave.  
Winchester, MA 01890

Name \_\_\_\_\_ Address \_\_\_\_\_

Name \_\_\_\_\_ Address \_\_\_\_\_

Brief Description of Work:

Construct New Single Family home.

Applicants for an Appeal must complete Form 2A

Applicants for a Variance must complete Form 2B

Applicants for a Special Permit Use must complete Form 2C

Applicants for a Special Permit/Site Plan Review or Site Plan Review must complete Form 2D

Applicants for a Special Permit Sign must complete Form 2E

Applicants for a Special Permit Pre-existing Nonconforming 1 or 2 Family must complete Form 2F

Applicants for a Special Permit Pre-existing Non-conforming Other must complete Form 2G

**FORM 2**

The undersigned is ( ) the owner of the subject property; or ( ) the holder of a written option to purchase the subject property, or ( ) the holder of a valid lease to the subject property. (Written authorization from the property owner must be submitted with the other application documents when the applicant is not the record owner of the property).

Record title to the subject property stands in the name (s) Cavley Development LLC

Address of owner of record 69 Cambridge St.  
Winchester, MA 01890

Title Reference:

(Unregistered land) Middlesex County Registry of Deeds; Book 74859, Page 505

(Registered land) Land Court Certificate of Title No. \_\_\_\_\_ Book \_\_\_\_\_, Page \_\_\_\_\_

Date of Recording: 6/10/2020

State briefly what building and structures currently exist on the premises:

NONE

Attorney, agent, or other representative acting for petitioner:

Name Steve Meinelt Address 11 DANA AVE Winchester, MA

Name \_\_\_\_\_ Address \_\_\_\_\_

Written evidence of agent's standing to represent petitioner may be requested.

Signed as a statement of fact under the pains and penalties of perjury, this 27<sup>th</sup> day of August, 2020.

SIGNATURE <u>[Signature]</u> (Petitioner/Agent)	SIGNATURE <u>[Signature]</u> (Property Owner/Agent)
Address <u>11 DANA Ave Winchester, MA</u>	Address <u>69 Cambridge St.</u>
Tel No. <u>978-836-6030</u>	Tel No. <u>781-760-4370</u>
Email address <u>SMEINELT@GMAIL.COM</u>	Email address <u>etredoy@msn.com</u>

*Note: Do not attempt to discuss the merits of your case with any member of the Board of Appeals at any time after filing this application and prior to the hearing thereon.*

TOWN OF WINCHESTER  
BOARD OF APPEAL  
71 MOUNT VERNON STREET  
WINCHESTER, MASSACHUSETTS 01890  
(781) 721-7115

SUPPORTING STATEMENT  
REQUESTED FINDINGS

FORM 2B  
VARIANCE

Petitioner Steve Meinert seeks a Variance under

Section 9.3.3(2) of the Winchester Zoning By-Law for the property located at

Abby Rd. Lot 1 and asks that the Board of Appeal make the following findings of fact in accordance with the provisions of Massachusetts General Laws, Chapter 40A, Section 10.

1. The provision or provisions of the Winchester Zoning By-Law from which the Petitioner seeks relief are:

front setback

2. The conditions relating to topography, shape of the parcel, or soil conditions that cause the strict application of the above zoning provisions to be a hardship are:

N/A

3. The conditions described, the topography, shape of the parcel, or soil conditions, specifically affect this property and do not generally the zoning district in which it is located because:

N/A

4. The strict application of the above zoning provisions create a substantial hardship, financial or otherwise, because:

N/A

Winchester Board of Appeals  
Form 2B

5. The requested relief from the above zoning provisions will be desirable and will not present a substantial detriment to the public good because:

Per the development agreement for the subdivision we are ~~requesting~~ satisfying the request of the Planning board to seek 5' front setback relief.

6. The requested relief may be granted without nullifying or substantially derogating from the intent or purpose of the zoning ordinance because:

N/A

**NOTE:** It is anticipated that many of the above questions may be answered by the submission of plans.

The rights authorized by a variance expire one year from the date the decision is filed with the Town Clerk, unless exercised or extended in accordance with the terms of Massachusetts General Laws, Chapter 40A, Section 10 and the rules of the Board of Appeal.

Date: 8/27/2020

SIGNATURE   
(Petitioner/Agent)

Address 11 DANA AVE WINCHESTER, MA

Tel No. 978-836-6030

*Please attach additional sheets if space provided is insufficient.*

MIDDLESEX FELLS RESERVATION

TOWN OF WINCHESTER  
WATER DEPARTMENT

AVENUE

DANA AVENUE

HIGHLAND

41

HIGHLAND

41

VALLEY RD.

41

AVENUE

39

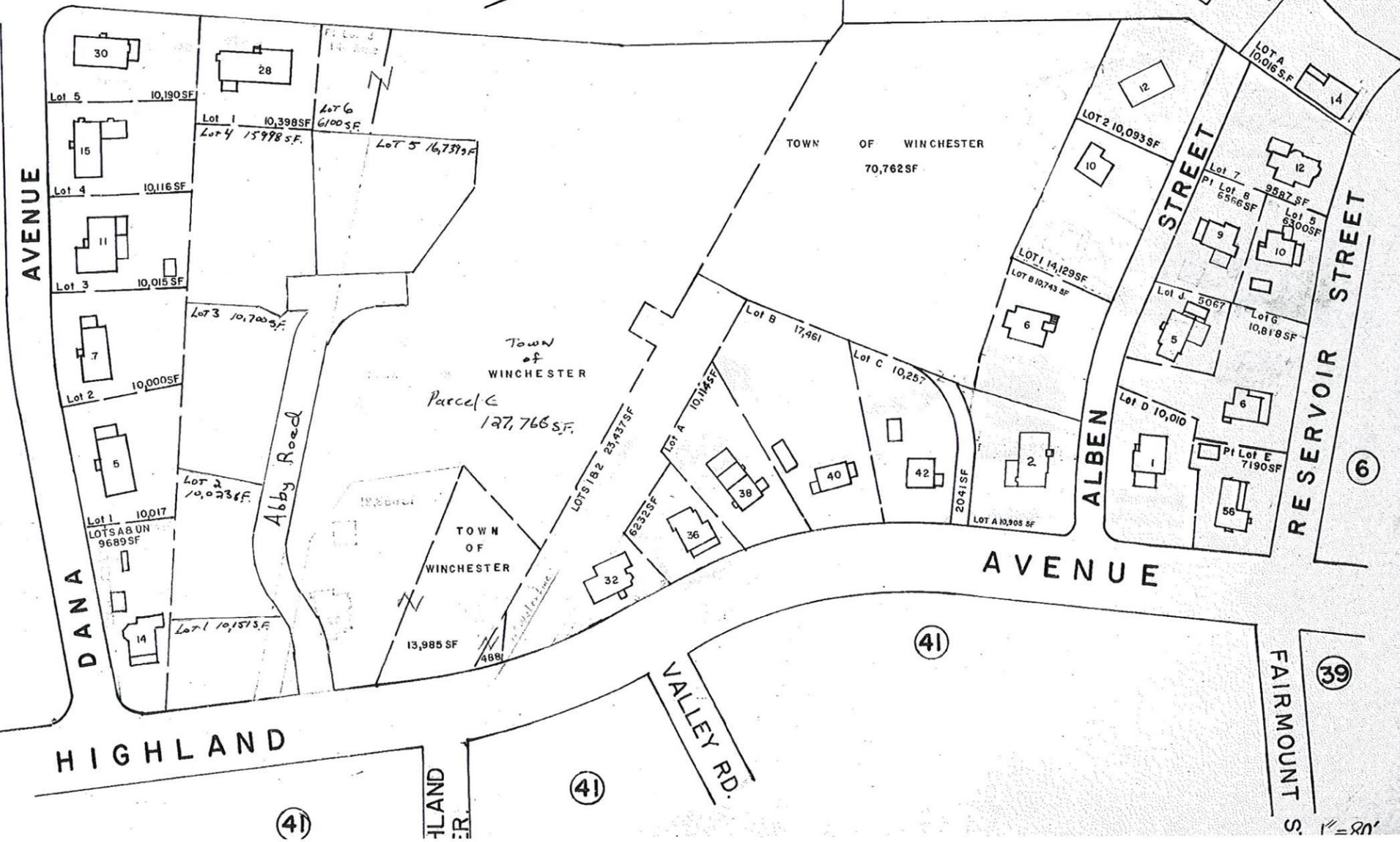
FAIRMOUNT S.

6

TOWN OF WINCHESTER  
70,762 SF

Town of WINCHESTER  
Parcel C  
127,766 SF.

TOWN OF WINCHESTER

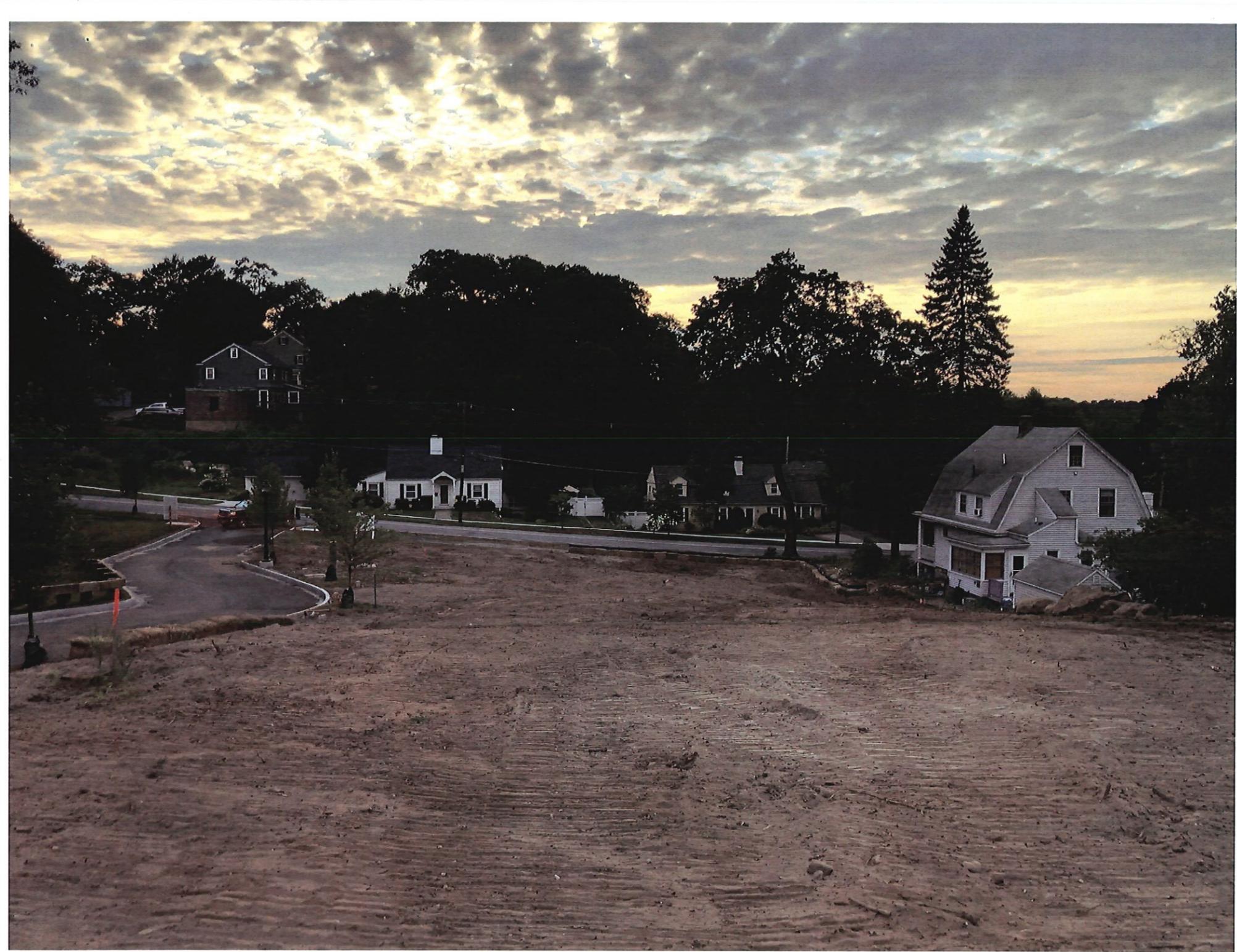


**Material List**  
**Lot 1 Abby Rd.**

- Siding- Cedar clapboards and Cedar Shingle painted, color TBD
- Roof- GAF Timberline HD asphalt shingles
- Trim- All exterior trim to be Azex (or similar) PVC painted, color TBD
- Windows- Andersen 400 Series- Color Black
- Stone Retaining wall- New England Fieldstone (round)
- Front Walkway- Pavers
- Driveway- Asphalt
- Front and Rear Porch- Granite w/new England fieldstone



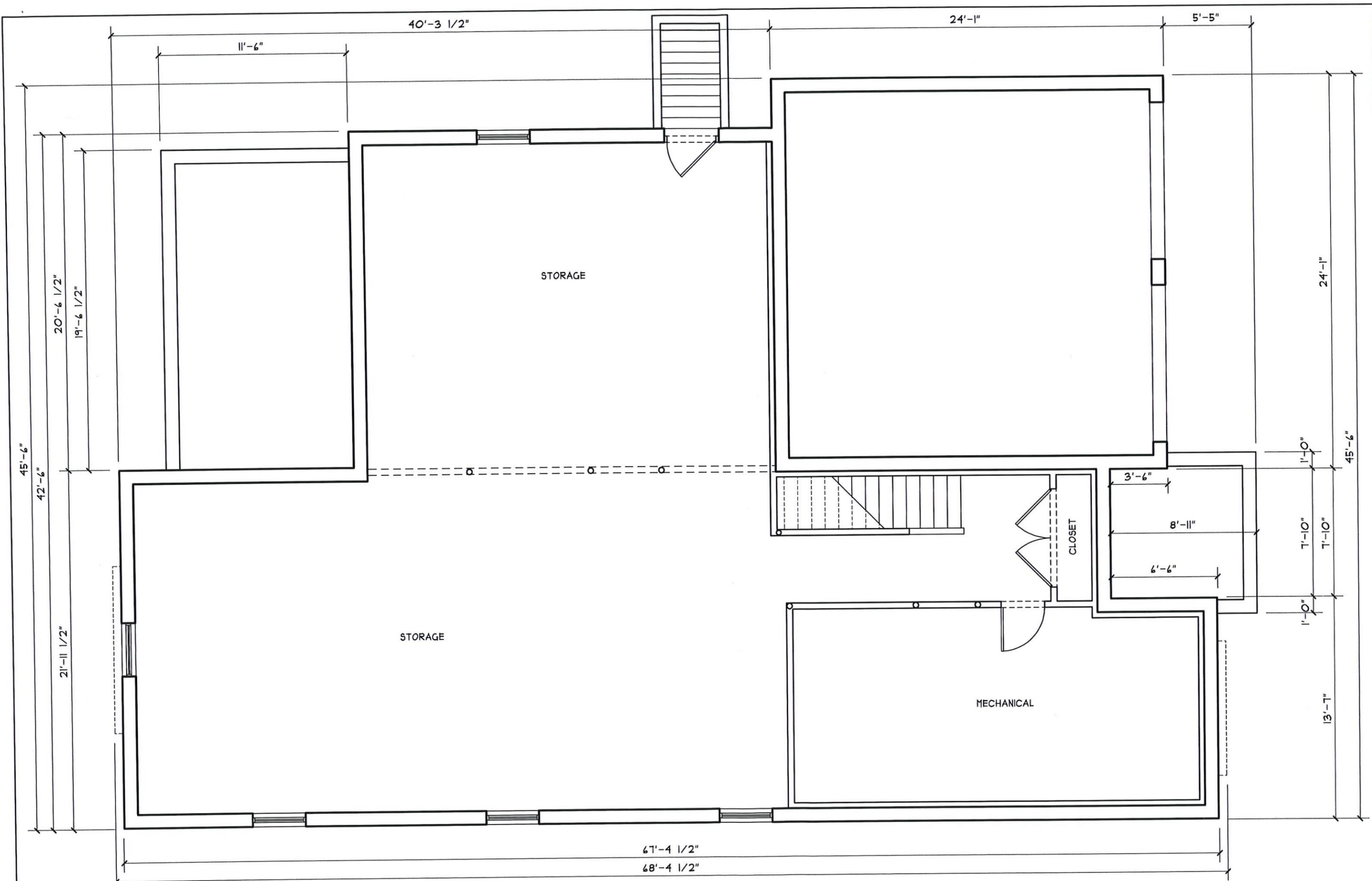




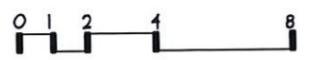








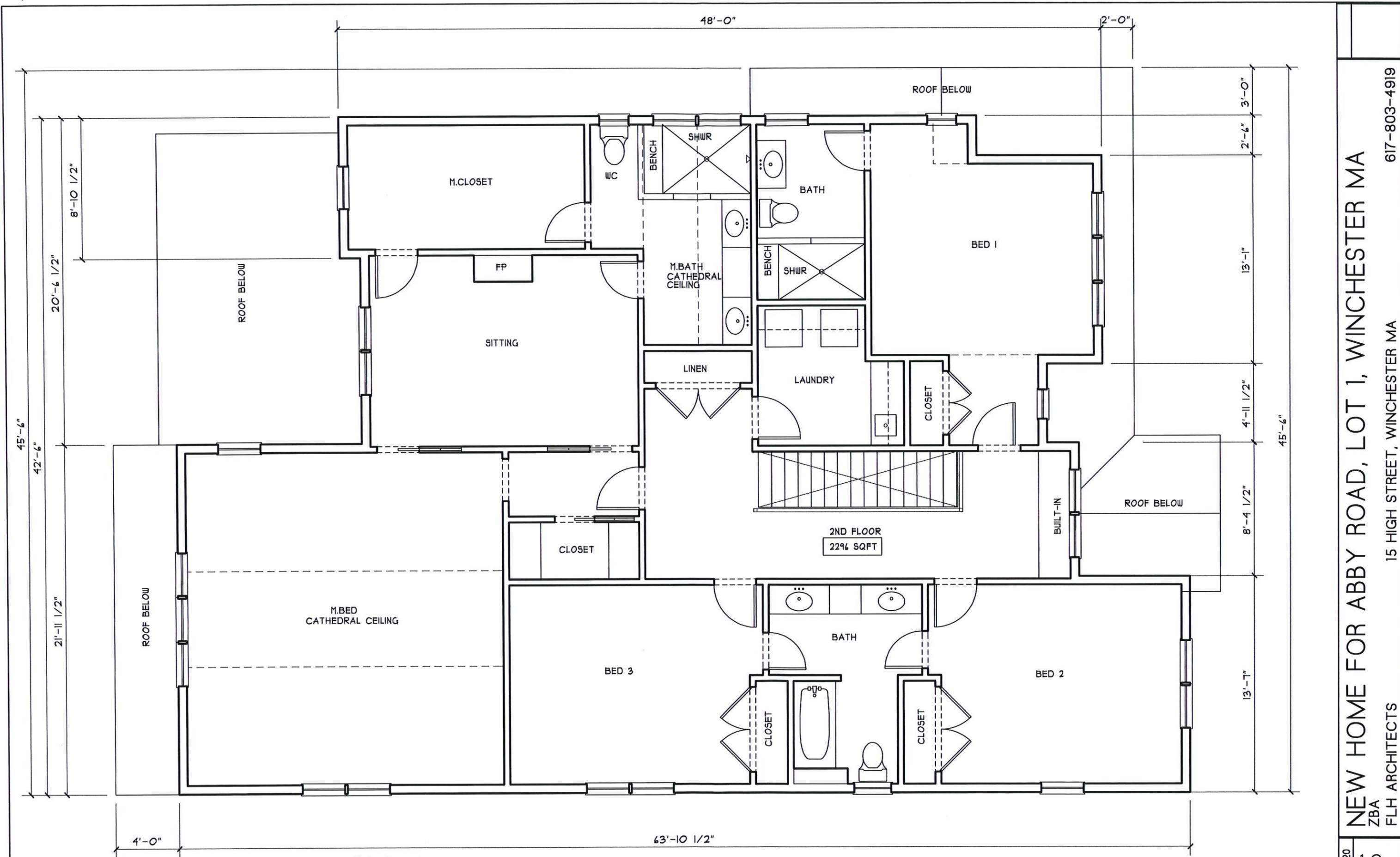
10 BASEMENT PLAN  
3/16"=1'-0"



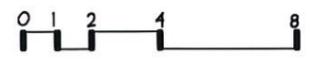
9-2-20  
10

NEW HOME FOR ABBY ROAD, LOT 1, WINCHESTER MA  
ZBA  
FLH ARCHITECTS  
15 HIGH STREET, WINCHESTER MA  
617-803-4919





1 2ND FLOOR PLAN  
1/2 3/16"=1'-0"



NOTE: ATTIC HAS 118 SQFT ABOVE 1'-0"

NEW HOME FOR ABBY ROAD, LOT 1, WINCHESTER MA  
ZBA  
FLH ARCHITECTS  
15 HIGH STREET, WINCHESTER MA  
617-803-4919

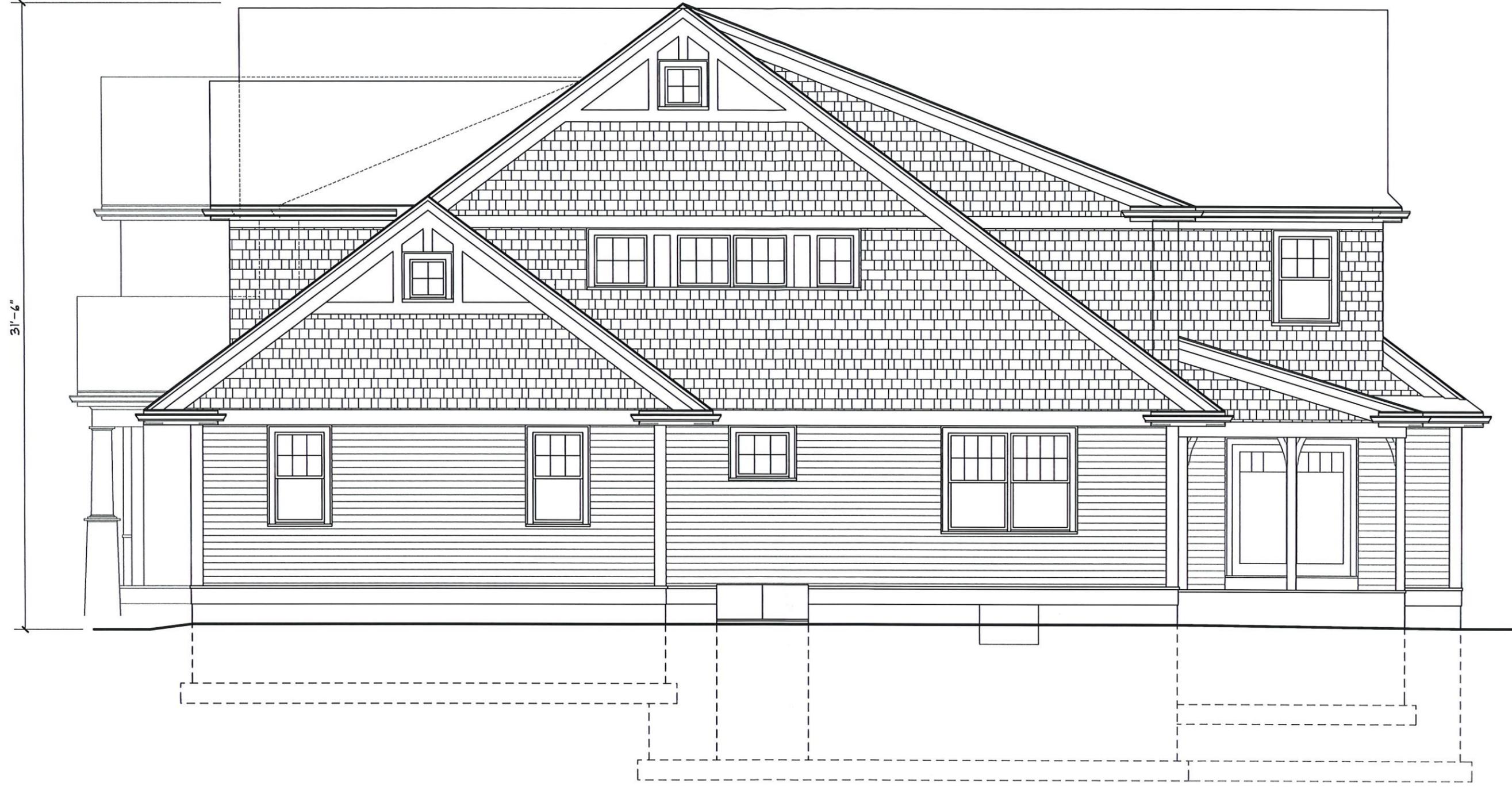


1 FRONT ELEVATION  
 1.3 3/16"=1'-0"

LEVEL	PROPOSED
1ST FLOOR	1981
2ND FLOOR	2296
ATTIC	118
GARAGE	516
TOTAL	4911

AREA TOTALS (SQFT)

NEW HOME FOR ABBY ROAD, LOT 1, WINCHESTER MA  
 ZBA  
 FLH ARCHITECTS  
 15 HIGH STREET, WINCHESTER MA  
 617-803-4919



1 SIDE ELEVATION  
1.4 3/16"=1'-0"



1 REAR ELEVATION  
1.5 3/16"=1'-0"



1 SIDE ELEVATION  
1.6 3/16"=1'-0"

AVENUE

HIGHLAND

NOW OR FORMERLY  
KEITH A. GOODWIN

PROPOSED OPEN AREA: 72%  
PROPOSED HARDSCAPE: 10%  
PROPOSED GREENSPACE: 62%

**REFERENCES:**

- 1. DEED IN BOOK 74859 AT PAGE 505
- 2. PLAN No. 180 OF 2019
- 3. PLAN No. 183 OF 2020

NOW OR FORMERLY  
CAULEY DEVELOPMENT, LLC

AVG. GRADE PLANE: 83.4  
MAXIMUM HEIGHT: 123.4  
PROPOSED HEIGHT: 113.5

**PLANT SCHEDULE:**

- AR: OCT GLORY RED MAPLE (3" CAL)
- ACO: CONCOLOR FIR (7'-8')
- CA: SWEET PEPPERBUSH (#5 POT)
- RP: RHODODENDRON PJM (2'-2.5')
- SB: ANTHONY WATERER SPIREA (#5 POT)

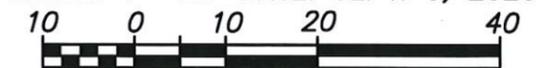
**NOTES:**

- 1. THIS IS AN ELECTRONIC COPY OF A PLAN BY GRE SURVEYING LLC. THE SOLE INTENT OF THIS PLAN IS TO SHOW THE LOCATION OF THE PROPOSED DWELLING & DRIVE. ANY OTHER USE OF THIS PLAN OR A MODIFICATION THEREOF MAY CONSTITUTE FRAUD AND WILL RENDER THIS PLAN NULL AND VOID.
- 2. THIS PLAN IS NOT TO BE USED FOR THE RECONSTRUCTION OF BOUNDARY LINES NOR FOR TITLE INSURANCE PURPOSES.
- 3. THIS PLAN DOES NOT REPRESENT A CONFIRMATION OF BOUNDARY LINES NOR A DETERMINATION OF TITLE BUT IS SOLELY INTENDED TO DEPICT THE OFFSET DIMENSIONS OF THE PROPOSED STRUCTURE TO THE LOT LINES AS DEPICTED ON A PLAN RECORDED AS PLAN No. 180 OF 2019
- 4. THE SUBJECT PROPERTY IS DEPICTED AS PARTS OF BLOCKS 178, 179 & 180 ON ASSESSOR'S MAP No. 2
- 5. OWNER OF RECORD IS CAULEY DEVELOPMENT, LLC. 69 CAMBRIDGE STREET, WINCHESTER, MA
- 6. ANY OFFSETS SHOWN HEREON ARE TO THE NEAREST ONE TENTH (1/10) OF A FOOT.
- 7. ZONING DISTRICT IS RDB

**PLOT PLAN of LAND**  
LOCATED IN  
**WINCHESTER, MASSACHUSETTS**  
(MIDDLESEX COUNTY)

PREPARED FOR  
**CHIEFTAIN DEVELOPMENT LLC**

SCALE: 1" = 20' DATE: SEPT. 3, 2020

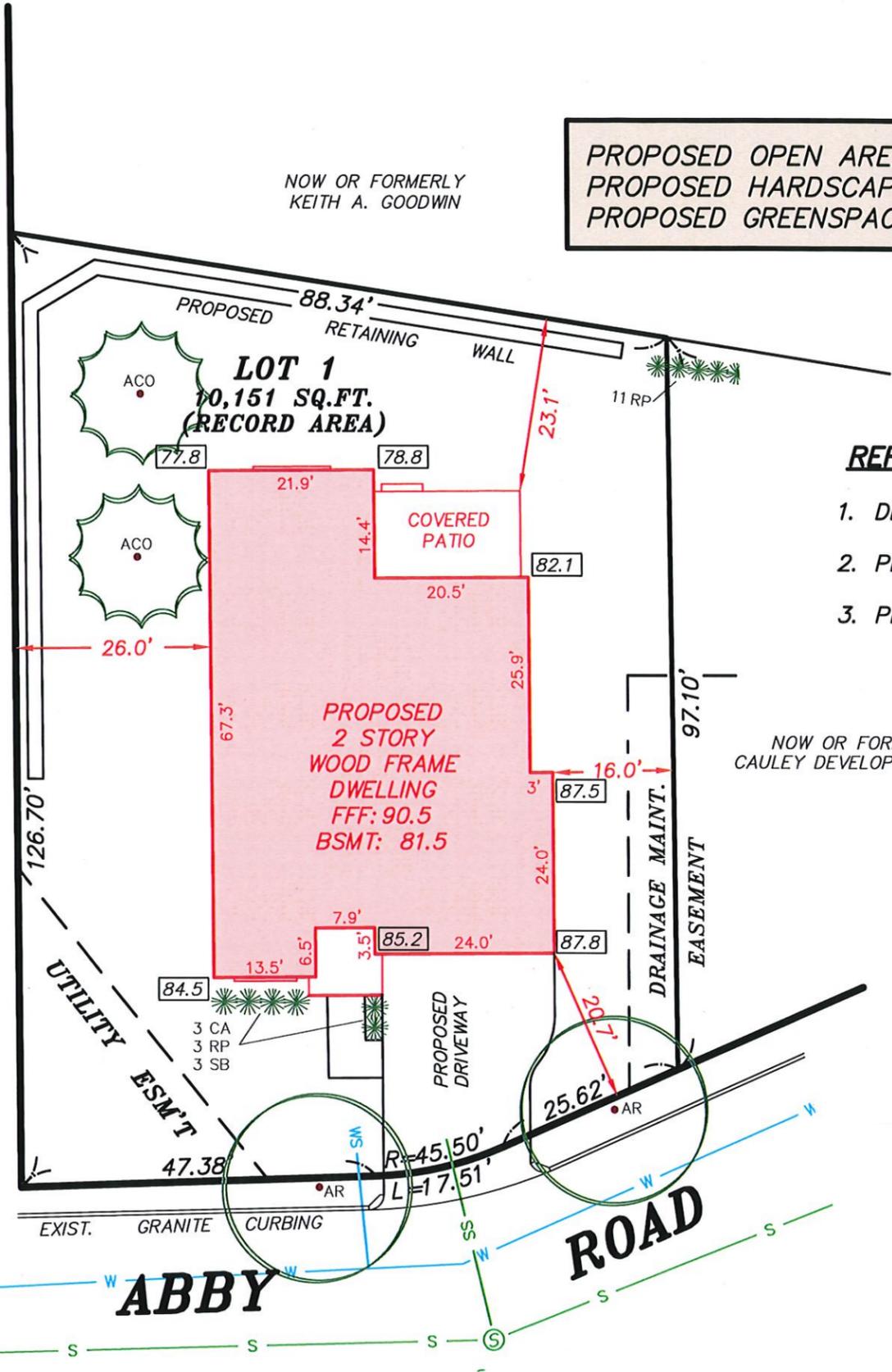
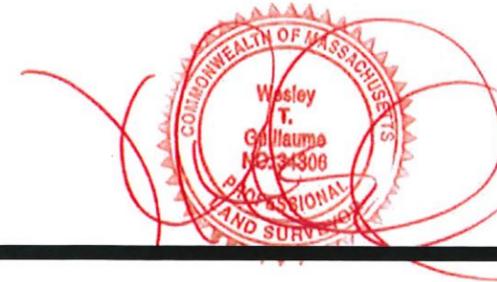


**GRE**  
SURVEYING LLC

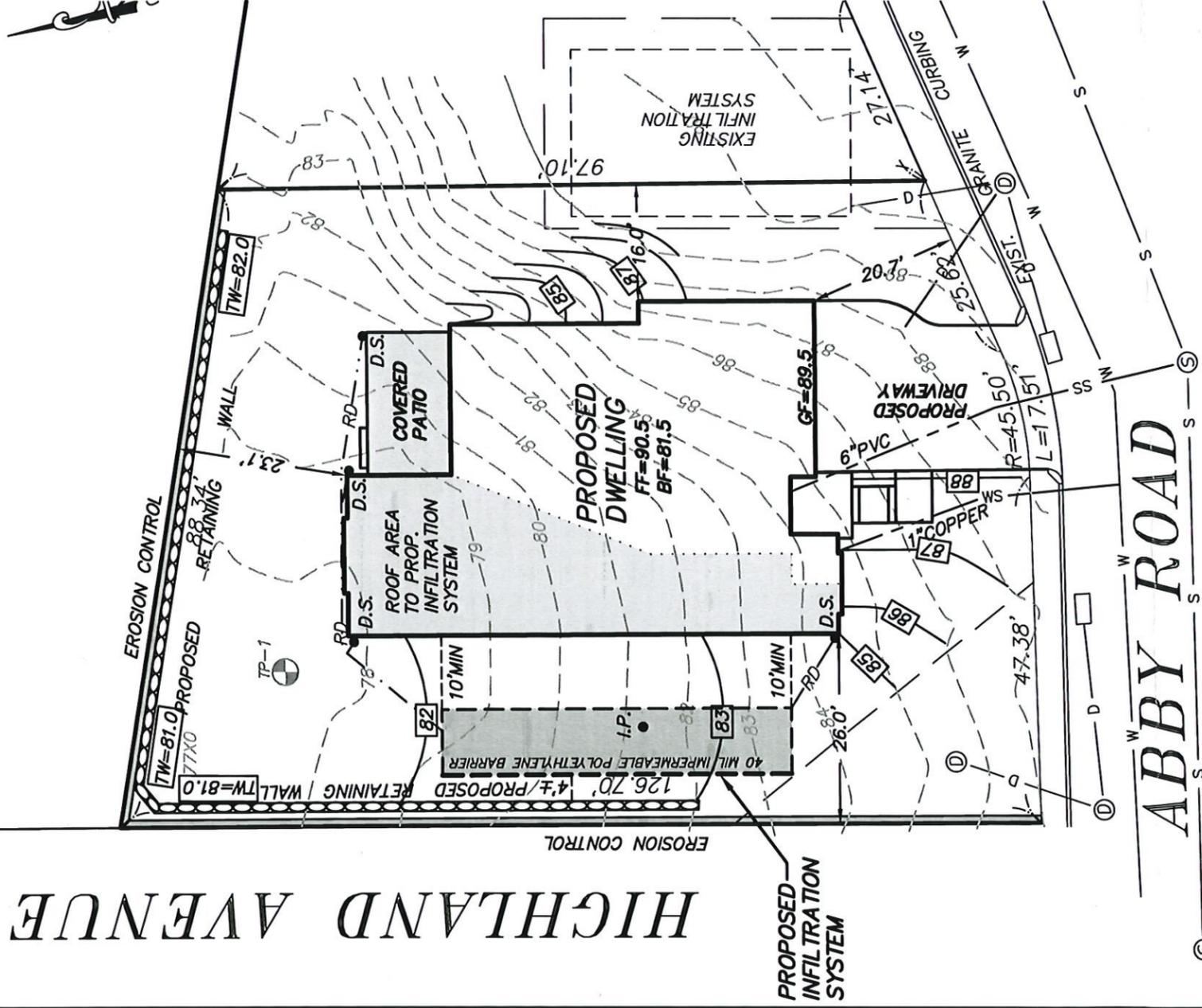
P.O. Box 684 Winchester, MA 01890  
Telephone 781-721-1944

DWG No. 200703 PP1B

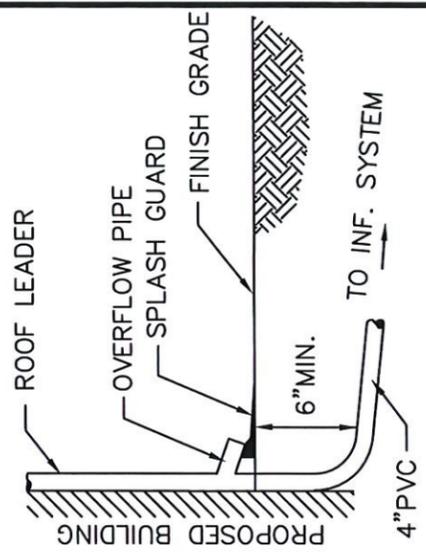
GRE No. 200703



# HIGHLAND AVENUE



LEGEND:	
BIT.	BITUMINOUS
CB	CATCH BASIN
CONC.	CONCRETE
D.S.	DOWN SPOUT
INV	INVERT
PVC	POLYVINYL CHLORIDE PIPE
SMH	SEWER MANHOLE
WSO	WATER SHUT OFF
-D-	DRAIN LINE
-R-	ROOF DRAIN
-S-	SEWER LINE
-W-	WATER LINE
-90-	EXISTING CONTOUR
-90-	PROPOSED CONTOUR
X	EXIST. TREE TO BE REMOVED



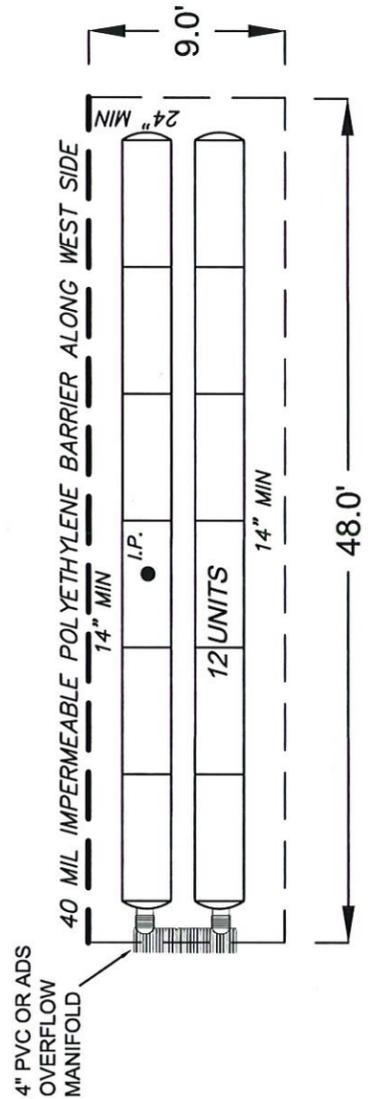
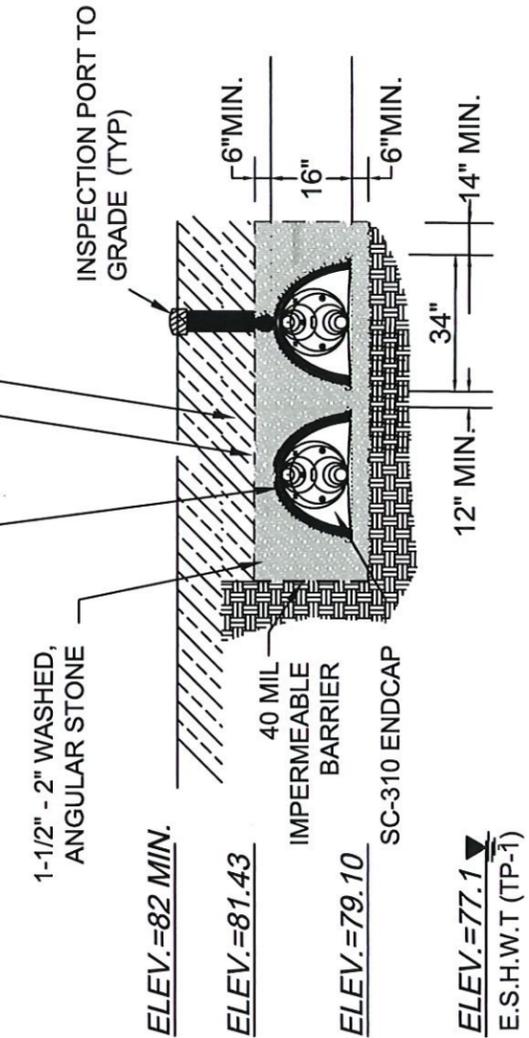
**ROOF DRAIN DETAIL**  
(INSTALLED AT LOWEST DOWNSPOUT)  
N.T.S.



**SC-310 CHAMBER OR APPROVED EQUAL CHAMBERS SHALL MEET ASTM F 2418-09 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".**

**AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE ON TOP & SIDES ONLY**

**GRANULAR WELL GRADED SOIL/AGGREGATE MIXTURES, <35% FINES. COMPACT IN 6" LIFTS TO 95% PROCTOR DENSITY. SEE THE TABLE OF ACCEPTABLE FILL MATERIALS**



**INFILTRATION SYSTEM DETAIL**  
N.T.S.

**NOTES:**

EXISTING ELEVATIONS AND SITE FEATURES BASED ON A FIELD SURVEY BY GRE SURVEYING, LLC, P.O. BOX 684, WINCHESTER, MA 01890.

DOWNSPOUT AND ROOF LEADER LOCATIONS SHOWN ARE APPROXIMATE ONLY. FINAL LOCATION OF DOWNSPOUTS AND ROOF LEADERS TO BE DETERMINED IN THE FIELD.

UTILITIES SHOWN ARE FROM FIELD INSPECTION AND PLANS OF RECORD. UTILITIES MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO EXCAVATION BY CALLING DIG SAFE AT 888-DIG SAFE AND THE WINCHESTER DEPARTMENT OF PUBLIC WORKS AT (781) 721-7100 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.

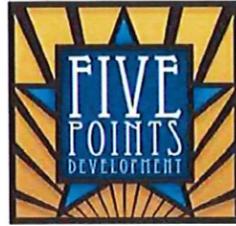
INSTALLATION OF UTILITIES SHALL CONFORM TO ALL APPLICABLE REGULATIONS, CODES AND STANDARDS OF THE TOWN OF WINCHESTER DEPARTMENT OF PUBLIC WORKS.

**PROPOSED SITE PLAN**  
**LOT 1, ABBY ROAD**  
**IN**  
**WINCHESTER, MASS.**

**PREPARED FOR:**  
**CHIEFTON DEVELOPMENT, LLC**

**SCALE: 1"=20'**    **DATE: SEPT. 2, 2020**

**FREDERICK W. RUSSELL, PE**  
**154 ALDRICH ROAD**  
**WILMINGTON, MA 01887**



05 September 2020

Town of Winchester  
71 Mount Vernon Street  
Winchester, Massachusetts 01890

Attention: Mr. Brian Szekely  
Town Planner

Reference: Abby Road Project  
Substitution of Tri-Party Agreement Escrow Funds

SENT VIA EMAIL ONLY TO: [bszekely@winchester.us](mailto:bszekely@winchester.us)

Dear Mr. Szekely:

As you know, our bank (Rockland Trust) is currently holding the sum of \$62,567. in escrow to secure the attached Remaining Items List associated with the above referenced project. Presently, funds for these items were provided by Five Points Development, LLC in accordance with the Tri Party Agreement (TPA).

The Abby Road Homeowners Association (HOA) has established a new escrow account with our bank that will take the place of a portion of the funds that was originally provided by Five Points and is now in escrow as noted above. Like the original escrow account, this new escrow account will provide the same rights of access to the Town of Winchester should a proven deficiency in performance arise. The HOA is funding this portion of the escrow because its member owners are the ones who are responsible for guaranteeing that they avoid damaging the relevant items. As you know, Five Points has completed these items and your Remaining Items List insisted on security against damage to these completed items. The differentiation between all Tri Party escrow items and those that must be warranted by the HOA is contained in the second attached list (Abby Road HOA Project Obligations).

With the establishment of this new HOA funded escrow account, I am requesting that the Town of Winchester release the original funds back to Five Points in the equivalent amount of \$32,749.49.

Respectfully Yours,  
**FIVE POINTS DEVELOPMENT LLC**

  
Craig Miller, PE  
Manager

Cc: Tony Aveni – Rockland Trust; Kurt James, Esq.  
Attachments: Remaining Items List; HOA Project Obligations List

**Remaining Items List**

Item No	Description	6-Apr	7-May	Actual 11-Jun
1	fine grading	\$ 2,000		
2	sewer manholes	\$ 2,500	\$ 2,500	\$ 2,500
3	stone bounds - allowance for re-setting	\$ 3,000	\$ 3,000	\$ 3,000
4	TV camera inspection	\$ 7,000		
5	Highland swale & berm	\$ 2,500		
6	loam & seed	\$ 10,135	\$ 10,135	
7	trees in ROW	\$ 10,400	\$ 10,400	
8	arborvitae on lots 3 & 4	\$ 1,200	\$ 1,200	\$ 1,200
9	holly bushes on lots 3 & 4	\$ 200	\$ 200	\$ 200
10	signage installation	\$ 125	\$ 125	
	<u>final paving</u>			
11	adjust structures	\$ 3,750	\$ 3,750	\$ 3,750
12	binder pavement quality repairs	\$ 3,500	\$ 3,500	\$ 3,500
13	top course pavement	\$ 10,000	\$ 10,000	\$ 10,000
14	drainage system cleaning	\$ 5,000	\$ 5,000	\$ 5,000
15	final as-built & certification of stone bounds	\$ 13,000	\$ 13,000	\$ 13,000
	Subtotal	\$ 74,310	\$ 62,810	\$ 42,150
	25% Contingency	\$ 18,578	\$ 15,703	\$ 10,538
	New Total	\$ 92,888	\$ 78,513	\$ 52,688
	2021	\$ 95,674	\$ 80,868	\$ 54,268
	2022	\$ 98,544	\$ 83,294	\$ 55,896
	2023	\$ 101,501	\$ 85,793	\$ 57,573
	2024	\$ 104,546	\$ 88,367	\$ 59,300
	2025	\$ 107,682	\$ 91,018	\$ 61,079
	Retainage on plantings until July 2021			\$ 1,488
				\$ 62,567





# TAJ ENGINEERING, LLC

*Civil & Structural Engineers • Land Surveyors • Project Managers*

April 10, 2020

Mr. Craig R. Miller, PE, President  
Waterfield Design Group, Inc.  
50 Cross Street  
Winchester, MA 01890

Reference: Abby Road, Winchester, MA

Dear Mr. Miller;  
Taj Engineering LLC is pleased to submit this proposal for performing professional surveying services for the newly constructed road located at the above referenced address. Based on and review of the information provided by your office, following is the scope of our work and associated fees.

## **Scope of Work**

1. As-built survey of about 400 ft. of roadway final pavement course finished grade and location of 13 new street planted along the northern edge of the new road, based on project H&V datum to be provided by the client including on the ground physical location of the control points.
2. Update CAD file of the previously prepared certified As-built plan to depict as-built data as described in the above item. Working CAD files to be provided by the client. Prepare final certified As-built plan for the referenced Abby Road.

## **Schedule**

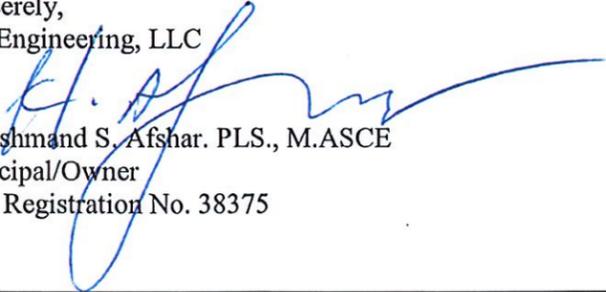
We estimate to complete the above scope per client's schedule. We can start work upon receiving executed contract and the requested retainer.

## **Fee & Method of Payment**

The fee for the above scope of work \$3,000.00. Retainer of 50% is requested and balance upon submission of final as-built plan. The quoted fee does not include direct expenses such as any filing fees with any of the Town or State offices, traffic detail, and printing & reproduction costs. Additional services beyond the scope of this contract will be performed by written approval of the client.

Please do not hesitate to call with any questions or clarifications.

Sincerely,  
Taj Engineering, LLC

  
Hooshmand S. Afshar, PLS., M.ASCE  
Principal/Owner  
MA Registration No. 38375

1/2



# TAJ ENGINEERING, LLC

*Civil & Structural Engineers • Land Surveyors • Project Managers*

## CLIENT AUTHORIZATION

This proposal is hereby accepted by the Client as evidenced by the execution hereof, and such a person so executing the same on behalf of the Client does hereby warrant full authority to act for, in the name of, and on behalf of the Client.

Such acceptance provides full authorization for Taj Engineering LLC to proceed with providing the Scope of Services under the terms and conditions stated herein.

\_\_\_\_\_  
Signature (print name & title)

\_\_\_\_\_  
Date

2/2

**Craig Miller**

---

**To:** Craig Miller  
**Subject:** RE: land surveying scoping question

**From:** Hardy, Darren J. <Darren.Hardy@wsp.com>  
**Sent:** Friday, July 10, 2020 10:22 AM  
**To:** Craig Miller <cmiller@wdgrp.com>  
**Subject:** Re: land surveying scoping question

Yes I agree that it is quite common to show information on an as built plan that was previously accepted and approved by a municipality and qualify it as background detail for context purposes. The source of the background data should be put in a note. Then qualify in a separate note on a plan the purpose of the [new] plan being prepared. For example in your case the purpose would be to show the final pavement grades.

Darren

**Darren Hardy, LLS, PLS**  
Sr. Vice President  
Survey Services



Office Phone: +1 603 324 0894  
Direct Phone: +1 603 324 0875  
Mobile Phone: +1 603 765 0002  
Email: [darren.hardy@wsp.com](mailto:darren.hardy@wsp.com)

WSP USA  
9 Executive Park Drive  
Suite 101  
Merrimack, NH 03054  
Please note I have a new address.

[wsp.com](http://wsp.com)

WSP | Parsons Brinckerhoff is now WSP.

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**From:** Craig Miller <cmiller@wdgrp.com>  
**Sent:** Thursday, July 9, 2020 10:05:00 AM  
**To:** Hardy, Darren J. <Darren.Hardy@wsp.com>  
**Subject:** RE: land surveying scoping question

Darren,

Can you take a look at my email to you from last weds and let me know what you think?

Thanks

Craig.

**Craig R. Miller, PE** \ President

**WDG** | Waterfield Design Group

50 Cross Street \ Winchester, MA \ 01890

T 781.756.0001 x11

[www.waterfelddesign.com](http://www.waterfelddesign.com)

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**From:** Hardy, Darren J. <[Darren.Hardy@wsp.com](mailto:Darren.Hardy@wsp.com)>

**Sent:** Thursday, June 25, 2020 9:47 AM

**To:** Craig Miller <[cmiller@wdgrp.com](mailto:cmiller@wdgrp.com)>

**Subject:** RE: land surveying scoping question

What you say makes a lot of sense. I have distributed your e-mail to MALSCE leadership. I will get back to you as soon as we discuss. Thanks.

**Darren Hardy, LLS, PLS**

Sr. Vice President

Survey Services



Office Phone: +1 603 324 0894

Direct Phone: +1 603 324 0875

Mobile Phone: +1 603 765 0002

Email: [darren.hardy@wsp.com](mailto:darren.hardy@wsp.com)

WSP USA

9 Executive Park Drive

Suite 101

Merrimack, NH 03054

Please note I have a new address.

[wsp.com](http://wsp.com)

WSP | Parsons Brinckerhoff is now WSP.

---

**From:** Craig Miller [<mailto:cmiller@wdgrp.com>]

**Sent:** Monday, June 22, 2020 10:25 AM

**To:** Hardy, Darren J. <[Darren.Hardy@wsp.com](mailto:Darren.Hardy@wsp.com)>

**Subject:** land surveying scoping question

Darren,

I need your help as head of MALSCE to add some industry standard practice qualification to an issue our company is having with a local municipal review process.

We prepared an as-built survey of a small subdivision road project for the developer and submitted that document to the town for their records. This document is what we would call 99.5% complete. The only thing missing are final roadway grades because the developer has not installed the final top course of paving. Only the binder grade pavement is in place now. I am attaching that document here. note that it is stamped and certified.

The town engineer is now levying an assessment of \$13,000 on the developer, claiming that an entirely new as-built survey will have to be produced in case our company (the original surveyor of the completed work) elects to not supply the final pavement grades to the town. This fee would also cover the survey of any of the 13 bounds should they be disturbed by separate developers when they go to build the houses.

I completely disagree with the town engineers response. They have a stamped and signed as-built that covers 99.5% of all items on the now completed project. If for some very strange reason our company were to walk away from our responsibility to supply final pavement grades (which we will not), the town only needs to hire a new surveyor to capture the final pavement grades. They do not need to re-survey all aspects of the completed project. the town has one as-built that has been signed and stamped and they can get a 2<sup>nd</sup> one that covers the final pavement grades, with notes on the new drawing explaining what that document covers (and what it does not cover). The new surveyor could spot check the location of the granite curb to make sure it matches what the current as built survey shows, and capture the 13 bounds, if they have moved in any way. if the granite curb is not where the current s-built says it is, the new surveyor could note this and identify any discrepancies.

We think the town engineer's levy is excessive and completely unnecessary from a technical standpoint. Can you help me by letting me know whether you concur with this approach? Just looking for an independent technical opinion from someone who serves on the mass land surveyor's organization.

Email or call if you have any questions.

Thanks

Craig.

**Craig R. Miller, PE** \ President

**WDG** | Waterfield Design Group

50 Cross Street \ Winchester, MA \ 01890

T 781.756.0001 x11

[www.waterfelddesign.com](http://www.waterfelddesign.com)

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TOWN OF WINCHESTER  
 MIDDLESEX COUNTY, MASSACHUSETTS  
 PLANNING BOARD  
 TOWN HALL  
 WINCHESTER, MASSACHUSETTS 01890  
 Phone: 781-721-7162 Fax: 781-721-7166

TOWN OF WINCHESTER  
 ROAD BOND/LOT RELEASE REQUEST  
 FORM G

FILL OUT SECTION A AND RETURN A COPY TO THE PLANNING BOARD OFFICE AND THE TOWN ENGINEER.

**SECTION A:**

PROJECT NAME: Abby Road Subdivision  
 DEVELOPER: Five Points Development, LLC  
 ENGINEER: Waterfield Design Group, Inc.  
 STREET NAME: Abby Road

NATURE OF REQUEST:

- LOT RELEASE
- BOND ESTABLISHMENT
- BOND REDUCTION
- BOND RELEASE
- PASSBOOK/ACCOUNT RELEASE
- TRIPARTITE AGREEMENT RELEASE

DESCRIPTION:

Substitution of existing escrow account funds with a new escrow fund account having same access and security functions. See attached letter.

IF LOT RELEASES, ARE APPROPRIATE COVENANTS, AGREEMENTS AND RESTRICTION DOCUMENTS RECORDED?

- YES
- NO

DATE OF APPROVAL: \_\_\_\_\_

**SECTION B: (FOR OFFICE USE ONLY)**

PROJECT REVIEW SUMMARY: \_\_\_\_\_

DATE SCHEDULED FOR PLANNING BOARD REVIEW \_\_\_\_\_

NOTE: ALL REQUESTS MUST BE SUBMITTED AT LEAST TWO WEEKS PRIOR TO THE PLANNING BOARD MEETING- NO EXCEPTIONS