

19-35 River Street - Multifamily Development



Strategic Land Ventures

Subsidized Housing Inventory Comparison

Surrounding Towns SHI

Town	SHI %
Lexington	11.1%
Woburn	8.7%
Melrose	8.0%
Medford	7.1%
Arlington	5.6%
Stoneham	5.3%
Winchester	1.9%

Comparable Demographic Towns SHI

Town	SHI %
Andover	13.3%
Needham	12.6%
Concord	11.7%
Hingham	11.4%
Lexington	11.1%
Lincoln	11.2%
Brookline	9.4%
Newton	7.5%
Medfield	7.2%
Wellesley	6.3%
Winchester	1.9%



Excerpts from Winchester Housing Production Plan

Winchester's housing stock does not include a sufficient amount of Affordable Housing or NOAH (the latter being naturally occurring affordable housing as opposed to deed-restricted Affordable Housing). Housing prices in Winchester are high. In 2017, the median price for a single-family house was \$1,066,690.

A key factor driving up the cost of housing in Winchester is the lack of land for new housing development, especially multifamily units. The town is largely developed with single-family homes, so many new houses replace older, sometimes smaller houses

Most new units are single-family homes—63% of all permitted units—with the balance mostly two-family units and condominium units. This pattern is reinforced by Town zoning, with most residential districts zoned for single- and two-family homes, not multifamily housing. The space and zoning constraints mean that only a few, larger multifamily buildings have been constructed in Winchester.



Excerpts from Winchester Housing Production Plan

Winchester's subsidized housing supply is small, much lower than neighboring and other communities with similar income levels and housing markets, and is less than what is needed to ensure economic diversity and prevent income segregation. Only 1.9% of total year round housing units per the U.S. Decennial Census in town are on the Subsidized Housing Inventory (SHI), and new Affordable Housing projects have experienced delays and litigation.

Despite demographic changes, Winchester still lacks diversity compared to surrounding communities and the Commonwealth.

Winchester's housing stock is primarily composed of high-priced single-family houses, with many appealing historic homes, but new supply is added slowly. Because such a large portion of Winchester's housing is single-family homes, the range of choices and prices is limited.the town isn't seeing as much new supply as it used to, and most new housing is more high-priced, single-family houses.

The housing supply is homogenous in part because Winchester has added little new housing since 2000

Winchester's high-cost housing market has restricted households with a diversity of incomes from staying or moving into town.

The Town needs an additional 1,257 Affordable units to house the existing number of low-income households, without accounting for future demand.



HPP Goals

If the housing supply and variety increases, the town would be able to retain seniors who could then age in place (either in their current homes or in an alternative housing unit that meets their needs). This would also allow younger householders, including children that grew up in town and want to stay close to their parents to find a home they can afford in Winchester



Increase the supply of Affordable Housing for low-income households to meet and maintain Safe Harbor status under MGL Chapter 40B by reaching one or some of the below targets.

Target 1: Obtain certification of the HPP

1. by permitting 40 Affordable Housing units in a calendar year for a 1-year period of Safe Harbor
2. by permitting 79 Affordable Housing units in a calendar year for a 2-year period of Safe Harbor

Target 2: Achieve Safe Harbor indefinitely by maintaining 10% of Winchester's housing stock as deed-restricted Affordable Housing

1. by permitting 129 or more units per year over 5 years to reach 792 Affordable Housing units
2. by permitting 64 or more units per year over 10 years to reach 792 Affordable Housing units

































DANGER
PROPANE
STORAGE
AREA
NO
SMOKING



N A M I
054-881



4021

DYNAMIC
MOBILE EQUIPMENT RENTALS
846-654-1817

4021





















DANGER
PROPANE
STORAGE
AREA
NO
SMOKING

WELDOCO



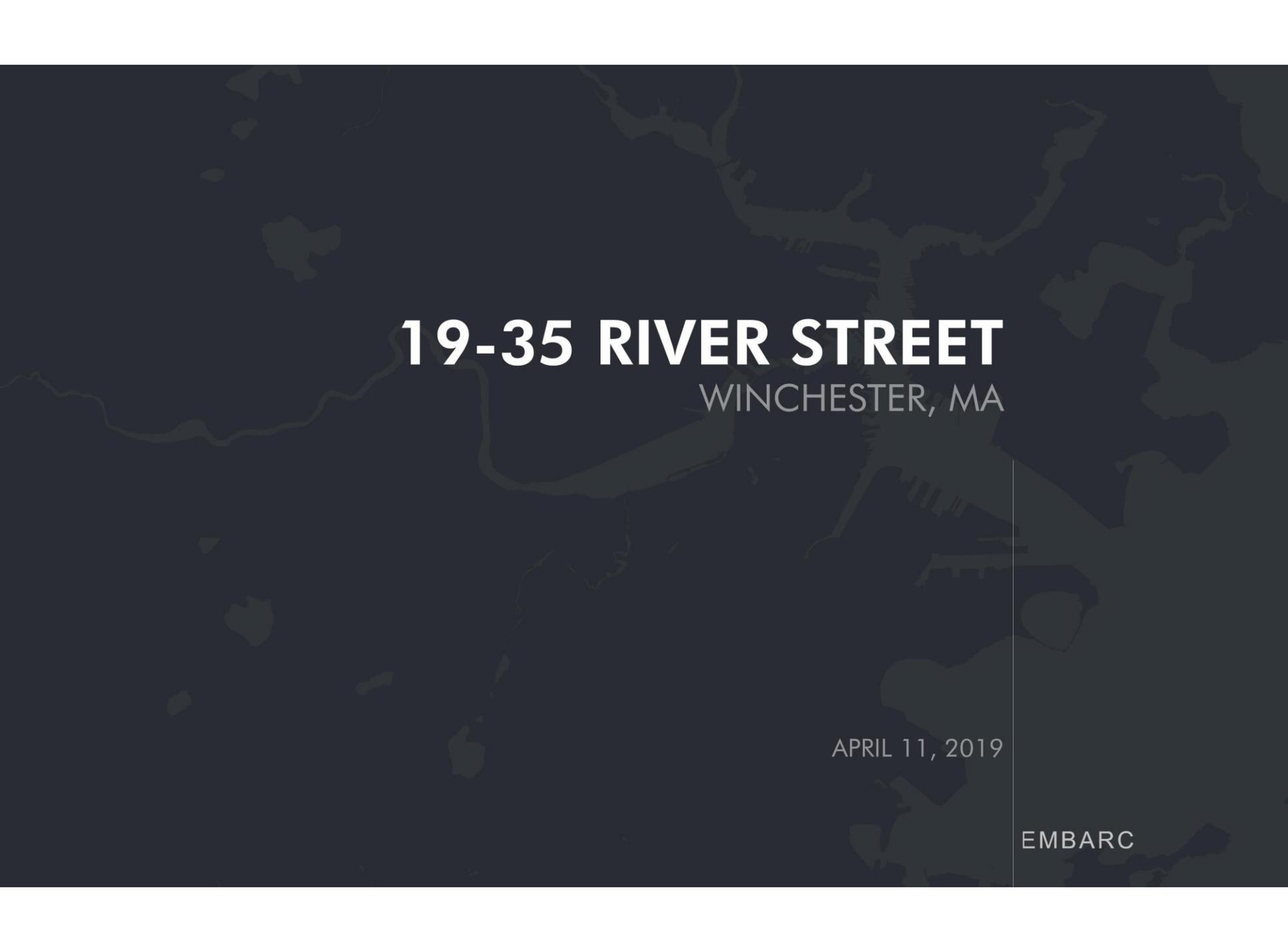
WARNING
PROHIBITED
STORAGE
AREA
NO
SMOKING



NAMIC

054-8817



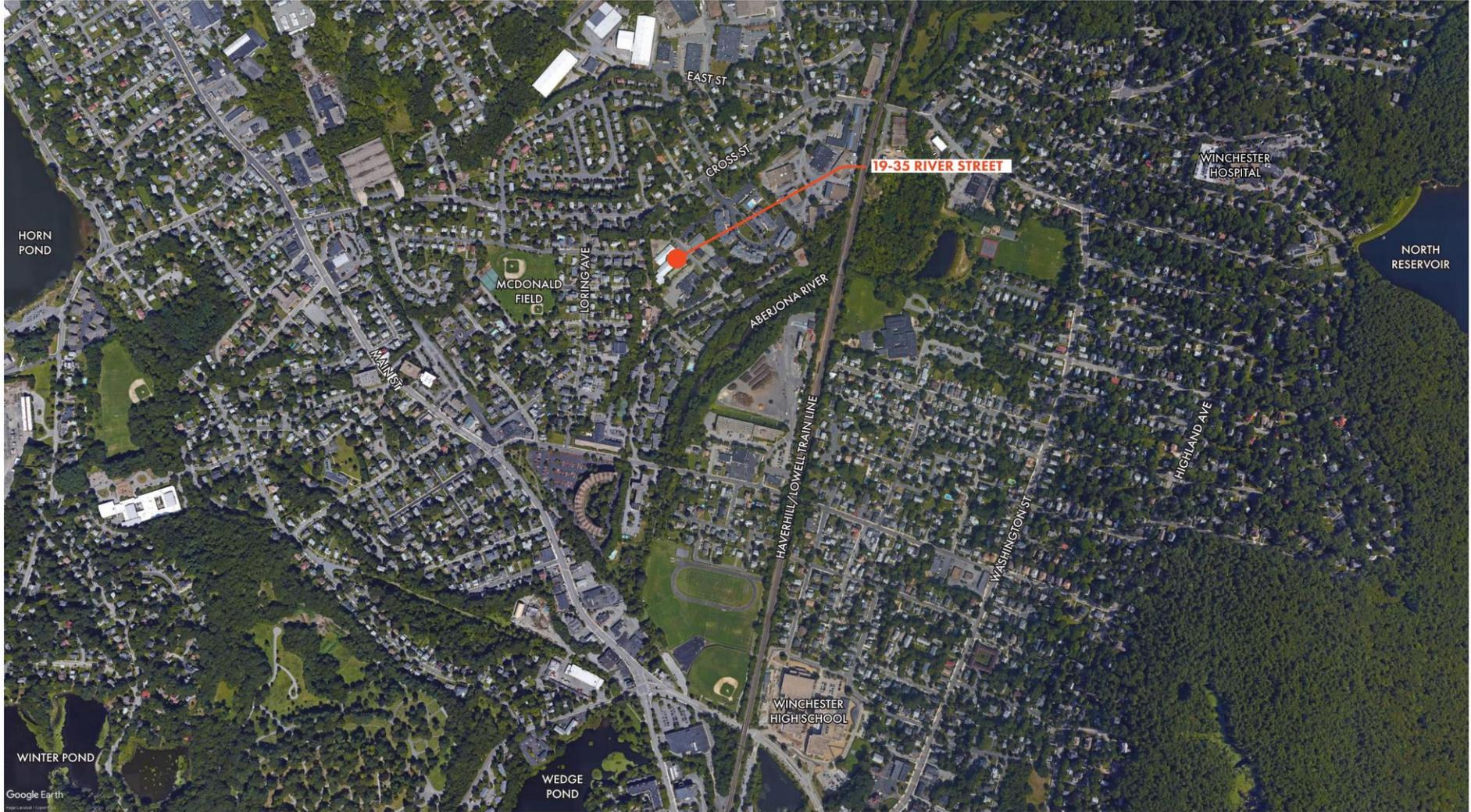


19-35 RIVER STREET

WINCHESTER, MA

APRIL 11, 2019

EMBARC



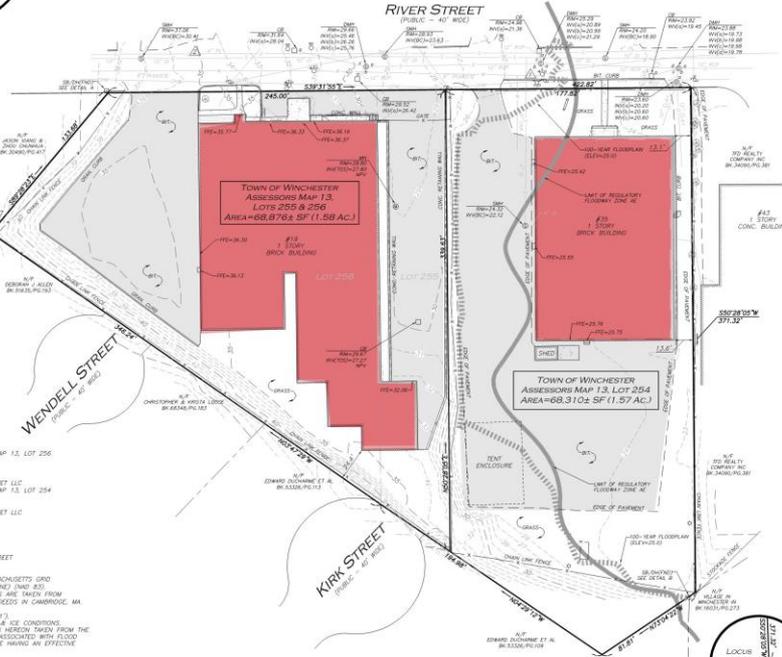
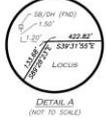
Google Earth





19-35 RIVER ST

- ZONING DISTRICT 1A
- TWO LOTS COMBINED AT 137,186 SF
- PREVIOUS USE AS LIGHT INDUSTRIAL



LOCUS REFERENCES

- TOWN OF WINCHESTER ASSESSORS MAP 13, LOT 256
- DEED BOOK 27176, PAGE 26
- PLAN 112 OF 1959
- PLAN 336 OF 1959
- OWNER OF RECORDS 19 RIVER STREET LLC
- TOWN OF WINCHESTER ASSESSORS MAP 13, LOT 254
- DEED BOOK 27024, PAGE 168
- PLAN 556 OF 1959
- OWNER OF RECORDS 35 RIVER STREET LLC

PLAN REFERENCES

- PLAN BOOK 73, PLAN 49
- PLAN 451 OF 1970
- PLAN 201 OF 1955
- 1908 COUNTY LAYOUT OF CROSS STREET

NOTES

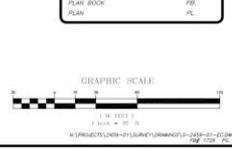
- NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (NAD83) ZONE 18E (42).
- BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MASSACHUSETTS RECORDS OF DEEDS IN CAMBRIDGE, MA.
- VERTICAL DATUM IS NAVD 83.
- CONTOUR INTERVAL IS ONE FOOT (1').
- SURVEY FINISHED UNDER SHOW & ICE CONDITIONS.
- 100 YEAR FLOOD ELEVATION SHOWN HEREON TAKEN FROM THE FLOOD INSURANCE STUDY REPORT ASSOCIATED WITH FLOOD INSURANCE RATE MAP 250120000E PAVING AN EFFECTIVE DATE OF JUNE 4, 2016.

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREON COMPARE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. NEW UTILITIES DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

BENCHMARK SUMMARY		
ITEM #	DESCRIPTION	ELEV.
1	4" x 4" x 16" FLANGE BOLT W/BRASS	28.63
2	8" x 8" x 16" FLANGE BOLT W/BRASS	38.10

LEGEND	
STONE BOUND (SB)	□
DRAIN MANHOLE (DM)	⊗
SEWER MANHOLE (SM)	⊙
MISC. MANHOLE (MM)	⊕
CATCH BASIN (CB)	⊞
UTILITY POLE	⊠
UTILITY POLE W/ROSER	⊠
UTILITY POLE W/LIGHT	⊠
FIRE HYDRANT	⊠
WATER GATE	⊠
400' GATE	⊠
LIGHT	⊠
TRICE	⊠
SON	⊠
SUN	⊠
ELECTRIC METER	⊠
CONCRETE LANDSCAPED AREA (LSA)	□
BUILDING	□
BUILDING OVERLAP	□
1' CONTOUR	---
5' CONTOUR	---
PROPERTY LINE	---
AUTOTERS LINE	---
CONCRETE RETAINING WALL	---
EDGE OF PAVEMENT	---
CURB	---
CHAIN LINK FENCE	---
STOCKADE FENCE	---
WATER LINE	---
SEWER LINE	---
DRAIN LINE	---
6" GAS LINE	---
CONCRETE ARMS	---
FINISHED FLOOR ELEVATION	---
BRITANNOUS	---
CONCRETE	---
GRANITE	---
BOTTOM CENTER	---
REINFORCED CONCRETE PIPE	---
PLASTIC	---
DUCTILE IRON PIPE	---
NO JIPES VISIBLE	---
NAV	---
TOP OF SET	---
STONE BOUND W/SMALL HOLE	---
FLUID	---
NOV OR FORMERLY	---
BOOK	---
PAGE	---
PLAN BOOK	---
PLAN	---



WE HEREBY CERTIFY THAT THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MARCH 2, 2016 AND MARCH 23, 2016. THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERED PROFESSIONAL ENGINEERS OF MASSACHUSETTS DATED JANUARY 1, 1976 AND REVISED JANUARY 22, 1986. ACCORDING TO DEEDS AND PLANS ON RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE EXACT CORNER EIGHTH OWNERSHIP AND THE LINES OF THE STREETS OR BAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND BAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR THE DIVISION OF EIGHTH OWNERSHIP OR FOR THE ABOVE CERTIFICATION IS INTENDED TO BE RECEIVED BY DEEDS REQUIREMENTS FOR THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. UNLESS OTHERWISE SPECIFIED THE SURVEY ACCORDING TO CURRENT TOWN OF WINCHESTER ASSESSOR'S INFORMATION. THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.
ISSUED FOR REVIEW
MARCH 28, 2016

PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.

REV. DATE. DESCRIPTION
35 RIVER STREET, LLC
36 CABOT ROAD
WOBURN, MA 01801

PROJECT
19-35 RIVER STREET
WINCHESTER, MA

PROJECT NO. 2489-01 DATE: 08/28/16
SCALE: 1" = 30' DWG. NAME: S489-01-01
DRAWN BY: KAC CHECKED BY: COWAN

ALLEN & MAJOR ASSOCIATES, INC.
185 STATE STREET
SUITE 200
WOBURN, MA 01890
TEL: (781) 938-8888
FAX: (781) 938-8889

DRAWING TITLE: EXISTING CONDITIONS SHEET NO. 1

- 19-35 RIVER ST
- ZONING DISTRICT 1A
- TWO LOTS COMBINED AT 137,186 SF
- PREVIOUS USE AS LIGHT INDUSTRIAL
- EXISTING STRUCTURE
- EXISTING SITE PAVING



A. VIEW OF EXISTING SITE ON RIVER STREET, FACING SOUTH



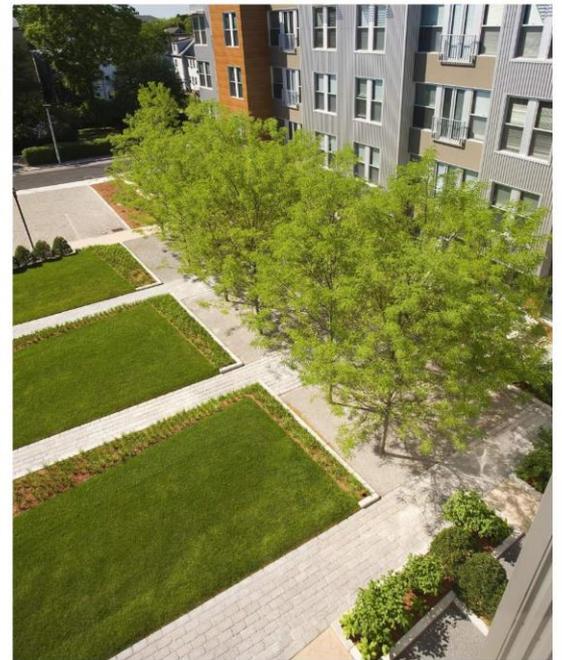
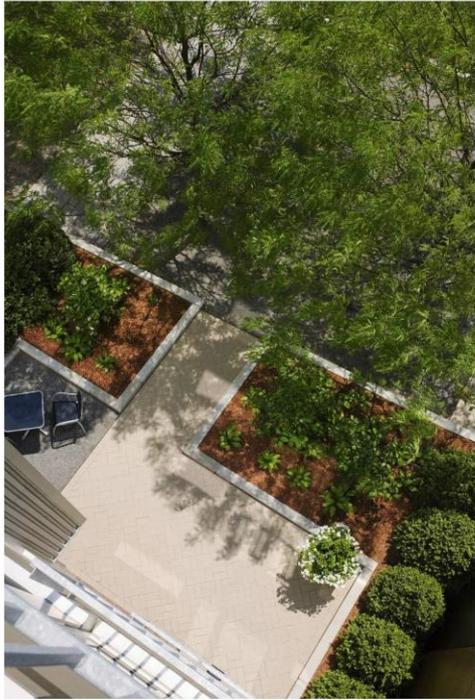
B. VIEW OF EXISTING SITE ON RIVER STREET, FACING NORTH





THE MILL / LOFT BUILDING AS PRECEDENT

- Taking inspiration from a similarity in scale and setting.
- Lasting materials
- Simple, coherent building form
- Open spaces formed by building masses with shared spaces connecting buildings



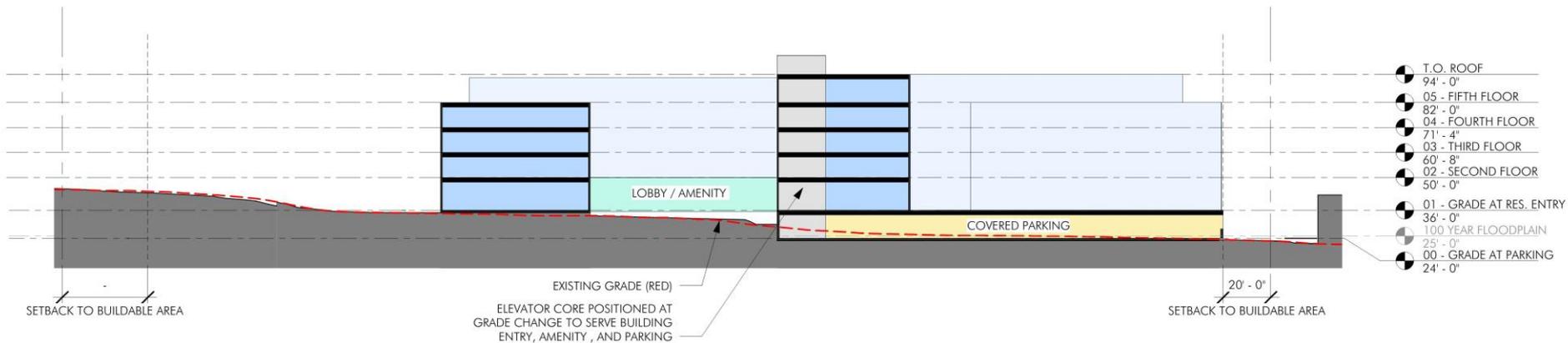
PROPOSED SITE PLAN

SITE PLAN KEY

- A - TOT LOT AREA
- B - REAR COURTYARD
- C - ENTRY COURTYARD
- D - PRIVATE GROUND LEVEL DECK
- E - PRIVATE GROUND LEVEL YARD
- F - 5TH FLOOR PRIVATE ROOF DECK

 MAIN BUILDING ENTRY





2 DIAGRAMMATIC SITE SECTION
1" = 40'-0"



1 SECTION KEY
1" = 200'-0"

SITE STRATEGY

Use existing cross slope on site to slip parking level below grade

Allow for open space above parking level.

Allow all habitable space above 100 year floodplain.

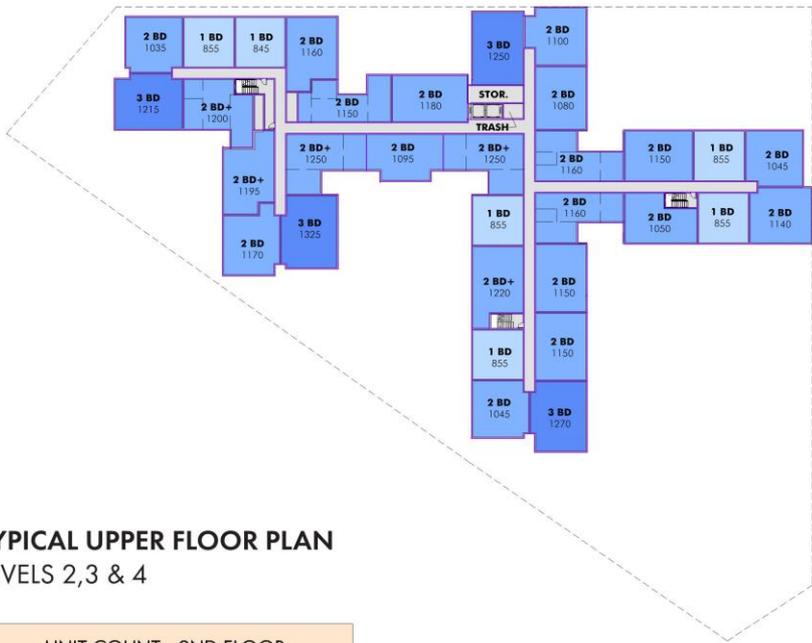


FIRST FLOOR PLAN



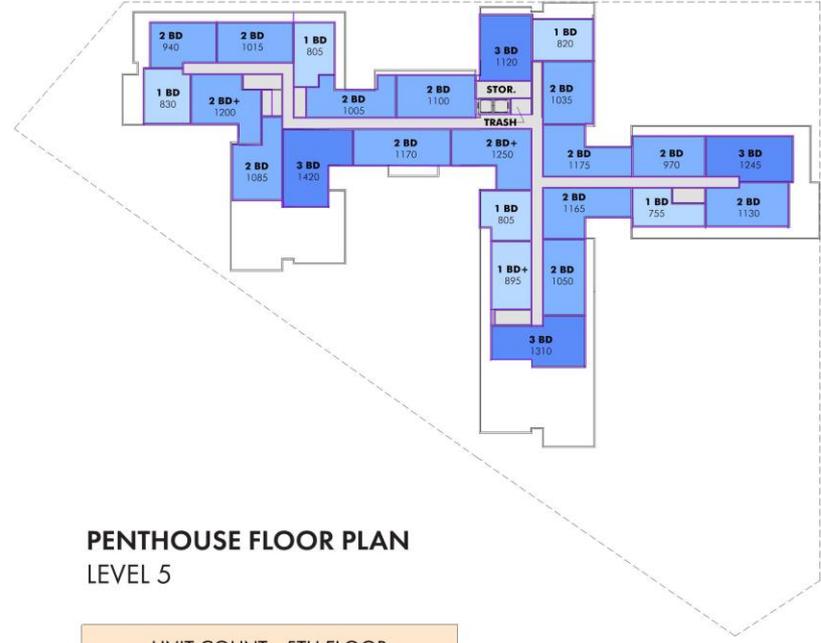
LOWER PARKING LEVEL PLAN





TYPICAL UPPER FLOOR PLAN
LEVELS 2,3 & 4

UNIT COUNT - 2ND FLOOR		
TYPE	COUNT	PERCENTAGE
1 BD	6	19%
2 BD	17	52%
2 BD+	5	16%
3 BD	4	13%
TOTAL UNITS	32	



PENTHOUSE FLOOR PLAN
LEVEL 5

UNIT COUNT - 5TH FLOOR		
TYPE	COUNT	PERCENTAGE
1 BD	5	24%
1 BD+	1	5%
2 BD	12	48%
2 BD+	2	10%
3 BD	4	14%
TOTAL UNITS	24	





FRONT AERIAL - FACING SOUTHWEST



REAR AERIAL - FACING EAST

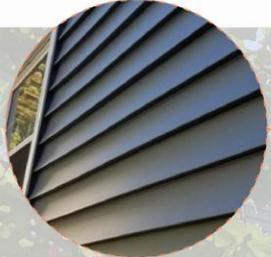
COMMON	
AREA TYPE	AREA
CORE	705 SF
00 - GRADE AT PARKING	705 SF
CORE	3,441 SF
01 - GRADE AT RES. ENTRY	3,441 SF
CORE	5,170 SF
02 - SECOND FLOOR	5,170 SF
CORE	5,178 SF
03 - THIRD FLOOR	5,178 SF
CORE	5,170 SF
04 - FOURTH FLOOR	5,170 SF
CORE	4,484 SF
05 - FIFTH FLOOR	4,484 SF
TOTAL COMMON GSF	24,147 SF

BUILDINGS GSF / FAR			
LEVEL	AREA	TOTAL SITE AREA	FAR
00 - GRADE AT PARKING	705 SF	137,185 SF	0.01
01 - FIRST FLOOR	38,990 SF	137,185 SF	0.28
02 - SECOND FLOOR	40,540 SF	137,185 SF	0.30
03 - THIRD FLOOR	40,540 SF	137,185 SF	0.30
04 - FOURTH FLOOR	40,540 SF	137,185 SF	0.30
05 - FIFTH FLOOR	29,840 SF	137,185 SF	0.30
	191,155 SF		1.39

RESIDENTIAL COMMON	
AREA TYPE	AREA
COMMON AMENITY	4,232 SF
COMMON LOBBY	2,637 SF
01 - GRADE AT RES. ENTRY	6,869 SF
TOTAL COMMON GSF	6,869 SF

UNIT COUNT			
TYPE	COUNT	PERCENTAGE	AVERAGE SF
1 BD	30	21%	855
1 BD+	2	1%	925
2 BD	77	51%	1030
2 BD+	18	13%	1175
3 BD	20	13%	1250
TOTAL UNITS	147		

FACADE MATERIALS



FIBER CEMENT CLAPBOARD



BRICK VENEER



CEDAR PLANK CLADDING AND ACCENTS



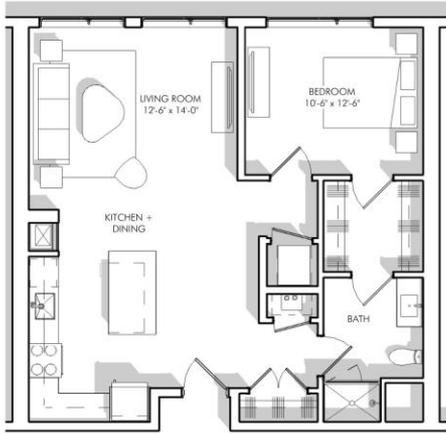
PERSPECTIVE AT BUILDING ENTRY ON RIVER STREET | EMBARC

A15

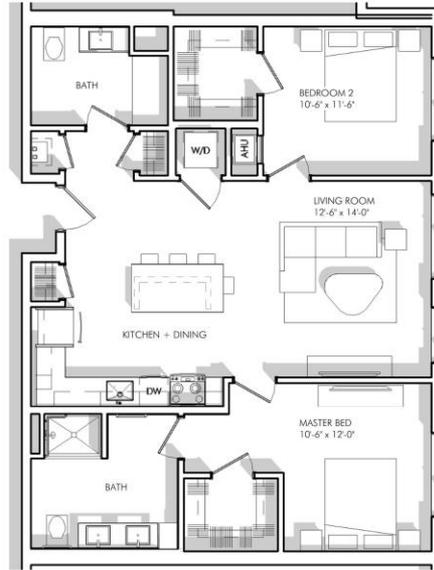


BRING OUTDOOR SPACE UP
5th floor penthouse units with private
roof decks allow for small scale
reading from adjacent residential
neighborhoods

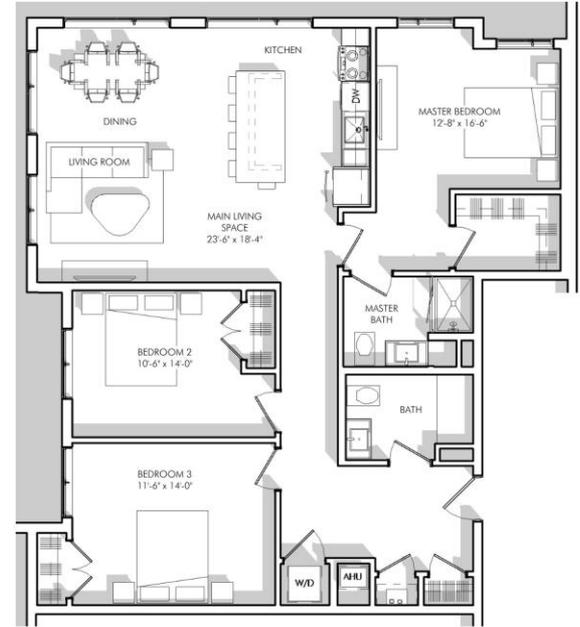




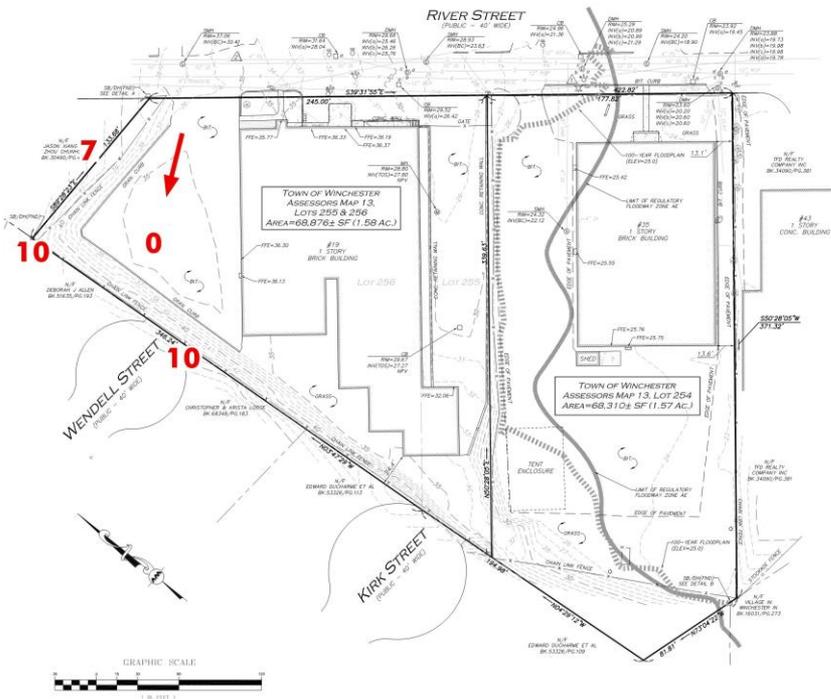
TYPICAL 1-BEDROOM UNIT SHOWN AT 855 SF
1/8"=1'-0"

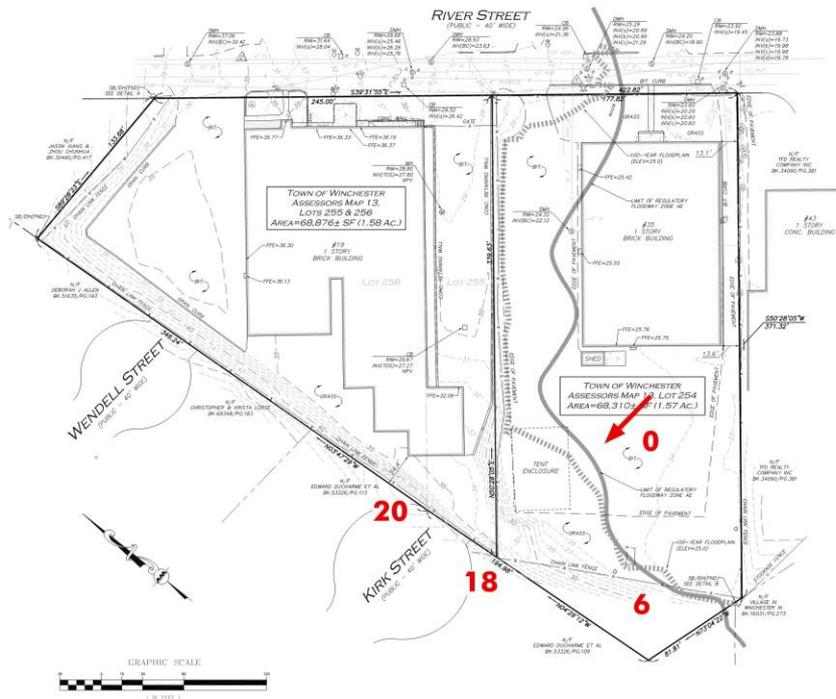


TYPICAL 2-BEDROOM UNIT SHOWN AT 1150 SF
1/8"=1'-0"



TYPICAL 3-BEDROOM UNIT SHOWN AT 1275 SF
1/8"=1'-0"



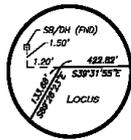
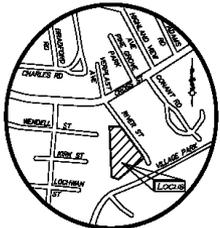




EXISTING SITE AERIAL | EMBARC



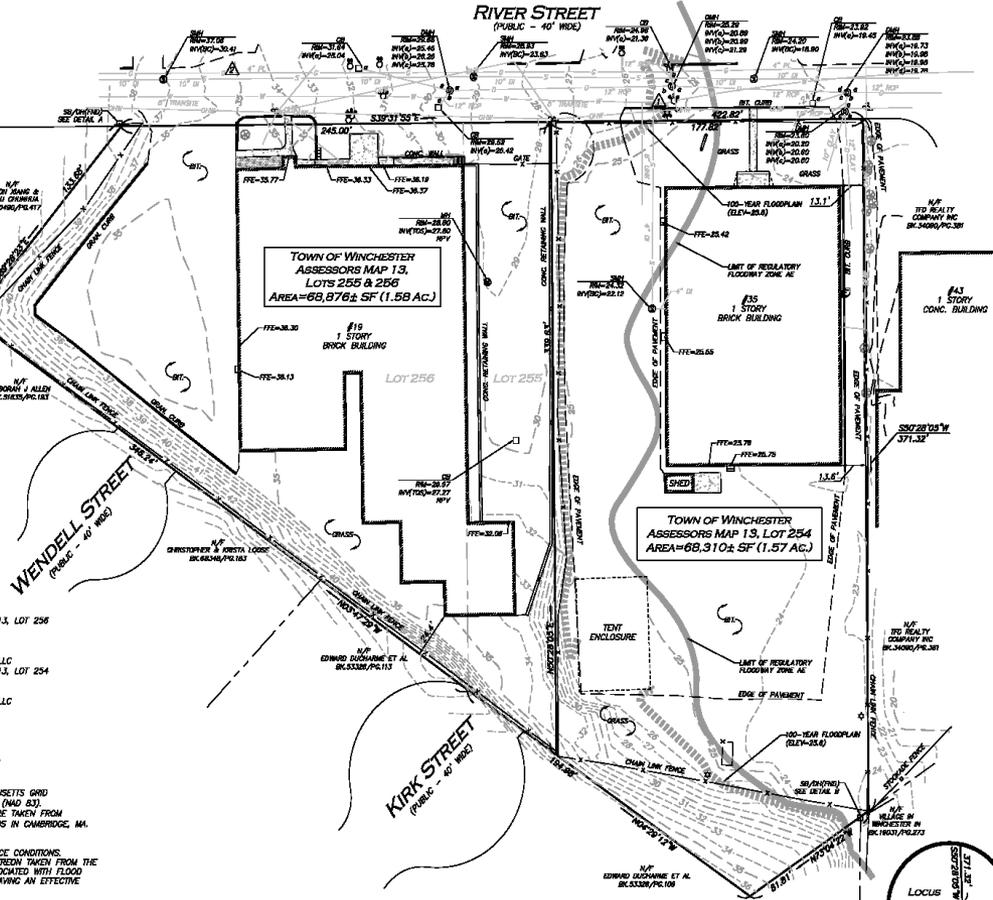
SITE OVERLAY DIAGRAM | EMBARC



DETAIL A
(NOT TO SCALE)

LOCUS MAP
(NOT TO SCALE)

RIVER STREET
(PUBLIC - 40' WIDE)



LOCUS REFERENCES

- TOWN OF WINCHESTER ASSESSORS MAP 1.3, LOT 256 DEED BOOK 27136, PAGE 28
- PLAN 1113 OF 1936
- PLAN 586 OF 1939
- OWNER OF RECORD: 19 RIVER STREET LLC
- TOWN OF WINCHESTER ASSESSORS MAP 1.3, LOT 254 DEED BOOK 27024, PAGE 165
- PLAN 586 OF 1939
- OWNER OF RECORD: 35 RIVER STREET LLC

PLAN REFERENCES

- PLAN BOOK 71, PLAN 49
- PLAN 451 OF 1970
- PLAN 701 OF 1935
- 1506 COUNTY LAYOUT OF CROSS STREET

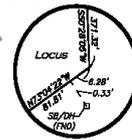
NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (MAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
3. VERTICAL DATUM IS NAVD 83.
4. CONTOUR INTERVAL IS ONE FOOT (1').
5. SURVEY PERFORMED UNDER SHOW & ICE CONDITIONS.
6. 100 YEAR FLOOD ELEVATION SHOWN HEREIN TAKEN FROM THE FLOOD INSURANCE STUDY REPORT ASSOCIATED WITH FLOOD INSURANCE RATE MAP 2801700408E HAVING AN EFFECTIVE DATE OF JUNE 4, 2016.

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREIN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

BENCHMARK SUMMARY		
TBM #	DESCRIPTION	ELEV.
1	X-OUT FLANGE BOLT HYDRANT	28.63
2	MAC NAIL SET IN PAVEMENT	35.10



DETAIL B
(NOT TO SCALE)

LEGEND

- STONE ROUND (SR) [Symbol]
- DRAIN MANHOLE (DM) [Symbol]
- SEWER MANHOLE (SM) [Symbol]
- MISC. MANHOLE (MM) [Symbol]
- CATCH BASIN (CB) [Symbol]
- UTILITY POLE [Symbol]
- UTILITY POLE W/ RISER [Symbol]
- UTILITY POLE W/ LIGHT [Symbol]
- POLE HYDRANT [Symbol]
- WATER GATE [Symbol]
- GAS DATE [Symbol]
- LIGHT [Symbol]
- TREE [Symbol]
- SIGN [Symbol]
- SIGN [Symbol]
- ELECTRIC METER [Symbol]
- CONCRETE [Symbol]
- LANDSCAPED AREA (LSA) [Symbol]
- BUILDING [Symbol]
- BUILDING OVERHANG [Symbol]
- 1' CONTOUR [Symbol]
- 5' CONTOUR [Symbol]
- PROPERTY LINE [Symbol]
- ABUTTERS LINE [Symbol]
- CONCRETE RETAINING WALL [Symbol]
- EDGE OF PAVEMENT [Symbol]
- CURB [Symbol]
- CHAIN LINK FENCE [Symbol]
- STOCKADE FENCE [Symbol]
- WATER LINE [Symbol]
- SEWER LINE [Symbol]
- DRAIN LINE [Symbol]
- GAS LINE [Symbol]
- OVERHEAD WIRES [Symbol]
- FINISHED FLOOR ELEVATION [Symbol]
- BITUMINOUS [Symbol]
- CONCRETE [Symbol]
- GRANITE [Symbol]
- BOTTOM CENTER [Symbol]
- REINFORCED CONCRETE PIPE [Symbol]
- ROCK [Symbol]
- PLASTIC [Symbol]
- DUCTILE IRON PIPE [Symbol]
- NO PIPES VISIBLE [Symbol]
- TOP OF SILT [Symbol]
- STONE ROUND W/ DRILL HOLE [Symbol]
- FOUND [Symbol]
- NOW OR FORMERLY [Symbol]
- BOOK [Symbol]
- PAGE [Symbol]
- PLAN BOOK [Symbol]
- PLAN [Symbol]

GRAPHIC SCALE



1" = 30 FT.
1 inch = 30 ft.

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MARCH 7, 2018 AND MARCH 23, 2018.
THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1998.
ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES SHOWING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS FOR THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF WINCHESTER ASSESSOR'S INFORMATION.
THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

ISSUED FOR REVIEW
AUGUST 8, 2018

PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
35 RIVER STREET, LLC
36 CABOT ROAD
WOBBURN, MA 01801

PROJECT:
19-35 RIVER STREET
WINCHESTER, MA

PROJECT NO. 2438-01 DATE: 08/28/18
SCALE: 1"=30' DWG. NAME: 2438-01-AC
DRAWN BY: KAC CHECKED BY: COL/AL

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
national/international consulting • landscape architecture
100 CONCORDS WAY
WOBBURN, MA 01801-3301
TEL: (978) 344-8800
FAX: (978) 344-8804

WOBBURN, MA • LASEVILLE, MA • MARCHESTER, NH

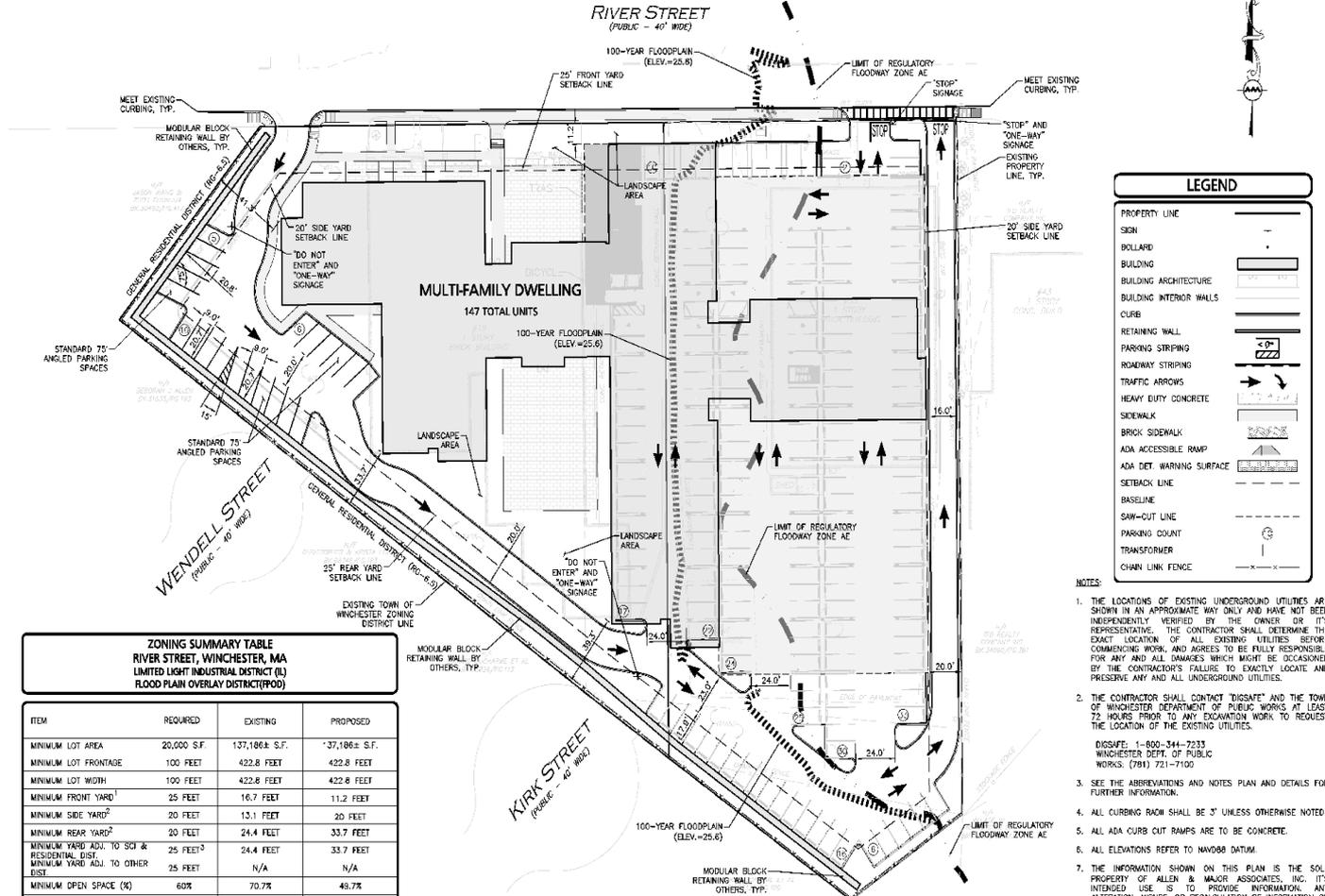
THIS DRAWING HAS BEEN PREPARED IN ELECTRONIC FORMAT. CLIENTS MUST REPRESENTATIVE OR CONSULTANT MAY BE PROVIDED COPIES OF DRAWINGS AND SPECIFICATIONS IN ELECTRONIC MEDIA FOR REVIEW INFORMATION AND USE FOR SPECIFIC APPLICATION TO THE PROJECT. DUE TO THE POTENTIAL THAT THE ELECTRONIC INFORMATION MAY BE INCORPORATED INADVERTENTLY OR OTHERWISE, ALLEN & MAJOR ASSOCIATES, INC. MAY REMOVE ALL INDICATION OF THE DOCUMENT'S AUTHORITY ON THE ELECTRONIC MEDIA. PRINTED DRAWINGS SHALL BE THE ONLY BOUND COPIES OF ALL INFORMATION. ALL INFORMATION IS THE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. NO OTHER COPIES SHALL BE MADE.

DRAWING TITLE: EXISTING CONDITIONS

SHEET NO. 1

PROJECT: 2438-01 SURVEY DRAWING: 19-35-01-AC-02
FILE: 1758_P2_1

AL:\PROJECTS\19-35-RIVER-ST\CONC.DRAWINGS\CURRENT\C-2759-01_LAYOUT & MATERIALS.DWG



ZONING SUMMARY TABLE
RIVER STREET, WINCHESTER, MA
LIMITED LIGHT INDUSTRIAL DISTRICT (LI)
FLOOR PLAN OVERLAY DISTRICT (POD)

ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 S.F.	137,106.8 S.F.	*37,106.8 S.F.
MINIMUM LOT FRONTAGE	100 FEET	422.8 FEET	422.8 FEET
MINIMUM LOT WIDTH	100 FEET	422.8 FEET	422.8 FEET
MINIMUM FRONT YARD ¹	25 FEET	16.7 FEET	11.2 FEET
MINIMUM SIDE YARD ²	20 FEET	13.1 FEET	20 FEET
MINIMUM REAR YARD ²	20 FEET	24.4 FEET	33.7 FEET
MINIMUM YARD ADJ. TO SOI & RESIDENTIAL USE ³	25 FEET ³	24.4 FEET	33.7 FEET
MINIMUM YARD ADJ. TO OTHER USE ³	25 FEET	N/A	N/A
MINIMUM OPEN SPACE (%)	60%	70.7%	48.7%
MINIMUM GREEN SPACE (%)	NR	NR	NR
MAXIMUM HARDSCAPE (%)	NR	NR	NR
MAXIMUM BUILDING STORES	3 STORES	1 STORY	5 STORES
MAXIMUM BUILDING HEIGHT ⁴	45 FEET	< 45 FEET	70 FEET
MINIMUM DISTANCE BETWEEN BUILDINGS	30 FEET ⁵	81.3 FEET	N/A
MIN. FLOOR AREA RATIO (FAR)	1.0	0.29	1.39

- NOTES:**
- WHERE BUILDING LINES ARE SPECIFIED BY TOWN OF WINCHESTER UNDER THE BYLAW "BUILDING LINES ESTABLISHED UNDER THE PROVISIONS OF SECTION 37 OF CHAPTER 82 OF THE GENERAL LAWS PRIOR TO JULY 1, 1983" NO BUILDING SHALL BE CLOSER TO THE STREET THAN SUCH BUILDING LINE DISTANCE OR AS SPECIFIED BY THE MINIMUM FRONT YARD REQUIREMENT CONTAINED HEREIN, WHICHEVER IS MORE RESTRICTIVE.
 - FOR USES PERMITTED UNDER SPECIAL PERMITS, INCREASE THE REQUIRED FRONT AND SIDE YARD REQUIREMENTS BY FIVE (5) FEET.
 - THE 25'-FOOT MINIMUM YARD REQUIREMENT SHALL BE HEFT IN ITS NATURAL STATE, WHERE WOODED, AND WHEN ITS NATURAL VEGETATION IS SPARSE OR INADEQUATE, A YEAR-ROUND VISUAL SCREEN SHALL BE REQUIRED. NO PRINCIPAL OR ACCESSORY STRUCTURE, NOR ANY OFF-STREET PARKING, DRIVEWAYS, LOADING AREAS OR OTHER USE SHALL BE PERMITTED IN THE BUFFER AREA.
 - DOES NOT APPLY TO CHIMNEYS, VENTILATORS AND OTHER STRUCTURAL FEATURES USUALLY CARRIED ABOVE ROOFS. NOT TO DOORS, TOWERS OR SPIRES OF BUILDINGS PROVIDED SUCH FEATURES ARE IN NO WAY USED FOR LIVING PURPOSES. MAXIMUM HEIGHT, EXCEPT FOR CHURCH SPIRES OR DOMES, SHALL NOT EXCEED 15 FEET ABOVE THE HEIGHT PERMITTED IN THE DISTRICT. SEE LOCAL BYLAW DEFINITION - "HEIGHT OF A BUILDING."
 - BUILDINGS SHALL BE SURROUNDED BY FIRE LINES. (SEE LOCAL BYLAW DEFINITIONS.)

PARKING SUMMARY CHART

OFF-STREET PARKING:
 USE: GROUP, GARDEN APARTMENT, TOWN HOUSES

2 SPACES PER DWELLING UNIT

TOTAL NUMBER OF PROPOSED UNITS: 147 UNITS

TOTAL PARKING REQUIREMENT: (147 UNITS x 2 SPACES/UNIT) = 294 SPACES

ADA/ACCESSIBLE PARKING:
 THERE ARE BETWEEN 201 TO 300 TOTAL PARKING SPACES REQUIRING 7 OF THEM BE ACCESSIBLE. 7 ADA ACCESSIBLE SPACES HAVE BEEN PROVIDED.

ADA REGULATIONS STATE THAT 1 OF EVERY 6 ADA SPACES SHALL BE VAN ACCESSIBLE. 2 OF THE ADA SPACES SHALL BE VAN ACCESSIBLE.

STANDARD SPACES	COMPACT SPACES	ACCESSIBLE SPACES	TOTAL PROVIDED	TOTAL REQUIRED
199	0	7 (6 VAN)	206	294

LEGEND

PROPERTY LINE

SIGN

BOLLARD

BUILDING

BUILDING ARCHITECTURE

BUILDING INTERIOR WALLS

CURB

RETAINING WALL

PARKING STRIPING

ROADWAY STRIPING

TRAFFIC ARROWS

HEAVY DUTY CONCRETE

SIDEWALK

BRICK SIDEWALK

ADA ACCESSIBLE RAMP

ADA DET. WARNING SURFACE

SETBACK LINE

BASELINE

SAW-CUT LINE

PARKING COUNT

TRANSFORMER

CHAIN LINK FENCE

- NOTES:**
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 - THE CONTRACTOR SHALL CONTACT "DISAFT" AND THE TOWN OF WINCHESTER DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
 DISAFT: 1-800-344-7233
 WINCHESTER DEPT. OF PUBLIC WORKS: (781) 721-1100
 - SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
 - ALL CURBING RADIUS SHALL BE 3' UNLESS OTHERWISE NOTED.
 - ALL ADA CURB CUT RAMP ARE TO BE CONCRETE.
 - ALL ELEVATIONS REFER TO NAVD83 DATUM.
 - THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ITS INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.

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 CALL 811 OR
 1-888-DIG-SAFE
 1-888-344-7233

ISSUED FOR REVIEW
 08-18-2018

PROFESSIONAL PLAN SET FOR
 ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

PROJECT OWNER:
 35 RIVER STREET, LLC
 36 CABOT STREET
 WOBURN, MA, 01801

19-35 RIVER STREET
 WINCHESTER, MA

PROJECT NO. 2459-01 DATE: 06/06/2008
 SCALE: 1"=30' DWG. NAME: C-2759
 DESIGNED BY: SAJ/CMQ CHECKED BY: CMQ

ALLEN & MAJOR ASSOCIATES, INC.
 civil & structural engineering • land use planning
 environmental consulting • landscape architecture
 www.allemajor.com
 100 EMERALD WAY, SUITE 200
 WOBURN, MA 01801
 TEL: (781) 932-8899
 FAX: (781) 932-8908

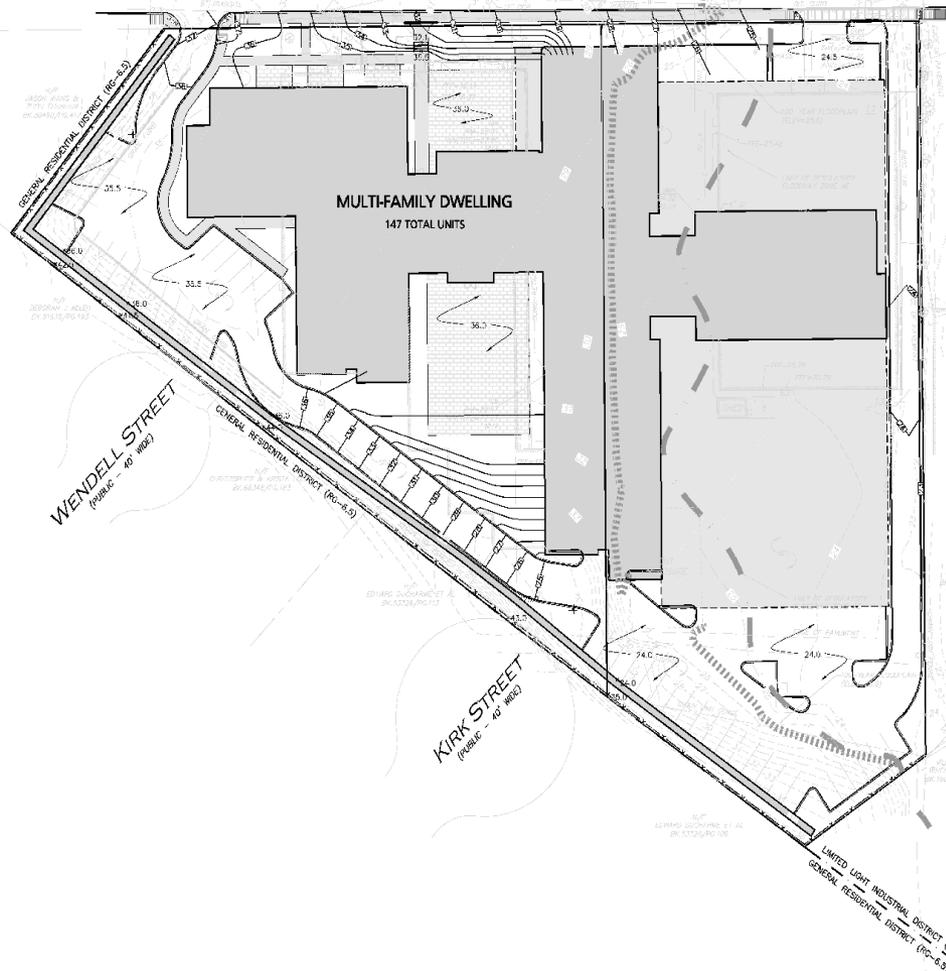
WOBURN, MA • BURLINGTON, MA • HANOVER, NH

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DRAWING TITLE: SHEET No.
LAYOUT & MATERIALS PLAN C-102

ALL PROJECTS 1-800-011-CONC, DRAWINGS CURRENTLY C-2159-01, GRADING & DRAINAGE D.M.

RIVER STREET
(PUBLIC - 40' WIDE)



LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- CATCH BASIN - DOUBLE GRATE
- OUTLET CONTROL
- DIVERSION WEIR
- WATER QUALITY UNIT
- AREA DRAIN
- FLARED END SECTION
- DRAIN LINE
- REPAIR OUTFALL
- HEADWALL
- 10' CONTOUR
- 2' CONTOUR
- SPOT GRADE
- INFILTRATION SYSTEM
- INFILTRATION PIPE
- DETENTION PIPE
- UNDERDRAIN
- FLOW DIRECTION

- NOTES:**
1. THIS GRADING & DRAINAGE PLAN IS CONCEPTUAL IN NATURE. IT IS UNDERSTOOD THE DRAINAGE MAY BE REVISED AS THE PROJECT PROGRESSES.
 2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR IT'S REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
 3. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. IT'S INTENDED USE IS TO PROVIDE INFORMATION. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
 4. THE CONTRACTOR SHALL CONTACT "DIGSAFE" AND THE CITY OF WALTHAM DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY LOCATION WORK TO REQUEST THE LOCATION OF THE EXISTING UTILITIES.
DIGSAFE: 1-800-344-7233
WINCHESTER DEPT. OF PUBLIC WORKS: (781) 721-7100
 5. SEE THE ABBREVIATIONS AND NOTES PLAN AND DETAILS FOR FURTHER INFORMATION.
 6. ALL ELEVATIONS REFER TO NAVD83 DATUM.



ISSUED FOR REVIEW
 09-13-2016

PROFESSIONAL ENGINEER FOR
ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
35 RIVER STREET, LLC
36 CABOT STREET
WOBBURN, MA, 01801

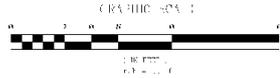
PROJECT:
19-35 RIVER STREET
WINCHESTER, MA

PROJECT NO. 2459-01 DATE: XXXX-XX-XX
 SCALE: 1" = 40' DWG. NAME: C-19-01

DESIGNED BY: SA/CMD CHECKED BY: CMD

ALLEN & MAJOR ASSOCIATES, INC.
 civil & structural engineering • landscape architecture • interior design • landscape architecture • landscape architecture • landscape architecture
 35 RIVER STREET, SUITE 3
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DRAWING TITLE: **CONCEPTUAL GRADING & DRAINAGE PLAN** SHEET No. **C-103**