

19-35 River Street - Multifamily Development



Subsidized Housing Inventory Comparison

Surrounding Towns SHI

Town	SHI %
Lexington	11.1%
Woburn	8.7%
Melrose	8.0%
Medford	7.1%
Arlington	5.6%
Stoneham	5.3%
Winchester	1.9%

Comparable Demographic Towns SHI

Town	SHI %
Andover	13.3%
Needham	12.6%
Concord	11.7%
Hingham	11.4%
Lexington	11.1%
Lincoln	11.2%
Brookline	9.4%
Newton	7.5%
Medfield	7.2%
Wellesley	6.3%
Winchester	1.9%



Excerpts from Winchester Housing Production Plan

Winchester's housing stock does not include a sufficient amount of Affordable Housing or NOAH (the latter being naturally occurring affordable housing as opposed to deed-restricted Affordable Housing). Housing prices in Winchester are high. In 2017, the median price for a single-family house was \$1,066,690.

A key factor driving up the cost of housing in Winchester is the lack of land for new housing development, especially multifamily units. The town is largely developed with single-family homes, so many new houses replace older, sometimes smaller houses

Most new units are single-family homes—63% of all permitted units—with the balance mostly two-family units and condominium units. This pattern is reinforced by Town zoning, with most residential districts zoned for single- and two-family homes, not multifamily housing. The space and zoning constraints mean that only a few, larger multifamily buildings have been constructed in Winchester.



Excerpts from Winchester Housing Production Plan

Winchester's subsidized housing supply is small, much lower than neighboring and other communities with similar income levels and housing markets, and is less than what is needed to ensure economic diversity and prevent income segregation. Only 1.9% of total year round housing units per the U.S. Decennial Census in town are on the Subsidized Housing Inventory (SHI), and new Affordable Housing projects have experienced delays and litigation.

Despite demographic changes, Winchester still lacks diversity compared to surrounding communities and the Commonwealth.

Winchester's housing stock is primarily composed of high-priced single-family houses, with many appealing historic homes, but new supply is added slowly. Because such a large portion of Winchester's housing is single-family homes, the range of choices and prices is limited.the town isn't seeing as much new supply as it used to, and most new housing is more high-priced, single-family houses.

The housing supply is homogenous in part because Winchester has added little new housing since 2000

Winchester's high-cost housing market has restricted households with a diversity of incomes from staying or moving into town.

The Town needs an additional 1,257 Affordable units to house the existing number of low-income households, without accounting for future demand.



HPP Goals

If the housing supply and variety increases, the town would be able to retain seniors who could then age in place (either in their current homes or in an alternative housing unit that meets their needs). This would also allow younger householders, including children that grew up in town and want to stay close to their parents to find a home they can afford in Winchester





















DANGER
PROPANE
STORAGE
AREA
NO
SMOKING















NAMIC
1-854-8817

4021

DYNAMIC

4021

NO OPEN FLAMES

NO SMOKING

NO DRINKING

NO EATING

NO BURNING

NO TRESPASSING

NO LOUDEST

NO NOISE

NO VIBRATION

NO AIR

NO WATER

NO GROUND

NO STRUCTURE

NO EQUIPMENT

NO MATERIALS

NO WASTE

NO DEBRIS

NO DIRT

NO MUD

NO SAND

NO GRAVEL

NO ASPHALT

NO CONCRETE

NO BRICKS

NO BLOCKS

NO TILES

NO ROOFING

NO Siding

NO Windows

NO Doors

NO Stairs

NO Ramps

NO Ladders

NO Scaffolding

NO Formwork

NO Rebar

NO Piles

NO Foundations

NO Footings

NO Columns

NO Beams

NO Joists

NO Trusses

NO Rafters

NO Sheathing

NO Insulation

NO Vapor Barrier

NO Drywall

NO Gypsum Board

NO Cement Board

NO Fiber Cement

NO Masonry

NO Blockwork

NO Brickwork

NO Mortar

NO Grout

NO Sealant

NO Caulk

NO Adhesive

NO Glue

NO Putty

NO Spackle

NO Primer

NO Paint

NO Stain

NO Sealer

NO Finish

NO Trim

NO Baseboards

NO Crown Molding

NO Door Casings

NO Window Casings

NO Sill Plates

NO Kick Plates

NO Toe Blocks

NO Handrails

NO Grab Bars

NO Ramps

NO Stairs

NO Ladders

NO Scaffolding

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054-8817

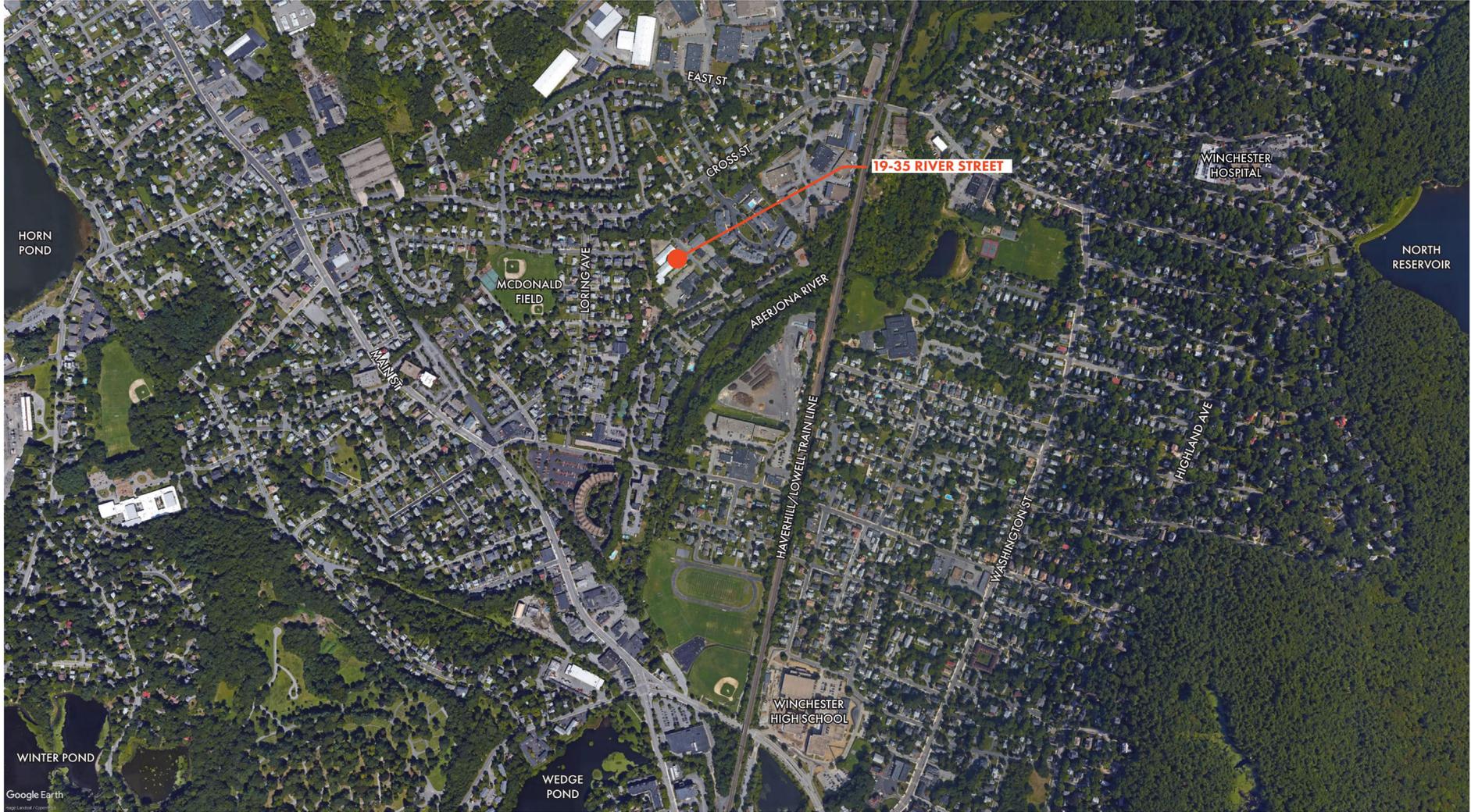


19-35 RIVER STREET

WINCHESTER, MA

APRIL 11, 2019

EMBARC







19-35 RIVER ST

- ZONING DISTRICT 1A
- TWO LOTS COMBINED AT 137,186 SF
- PREVIOUS USE AS LIGHT INDUSTRIAL



A. VIEW OF EXISTING SITE ON RIVER STREET, FACING SOUTH



B. VIEW OF EXISTING SITE ON RIVER STREET, FACING NORTH



EXISTING SITE | EMBARC

A7



THE MILL / LOFT BUILDING AS PRECEDENT

- Taking inspiration from a similarity in scale and setting.
- Lasting materials
- Simple, coherent building form
- Open spaces formed by building masses with shared spaces connecting buildings



CONCEPT LAYOUT PLAN NOTES

1. THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
 GOOGLE EARTH AERIAL IMAGERY
 MASSGIS ORTHOPHOTOGRAPHY
2. EXACT LOCATION OF PROPOSED BUILDING AND IMPROVEMENTS MUST BE CONFIRMED AND EVALUATED UPON COMPLETION OF SURVEY.
3. THIS PLAN IS INTENDED FOR CONCEPTUAL REVIEW PURPOSES ONLY. THE EXISTING CONDITIONS SHOWN HEREON IS BASED UPON INFORMATION THAT WAS SUPPLIED TO OUR OFFICE AT THE TIME OF PLAN PREPARATION AND MAY BE SUBJECT TO CHANGE, AND MUST BE UPDATED UPON PERFORMANCE OF A SURVEY.



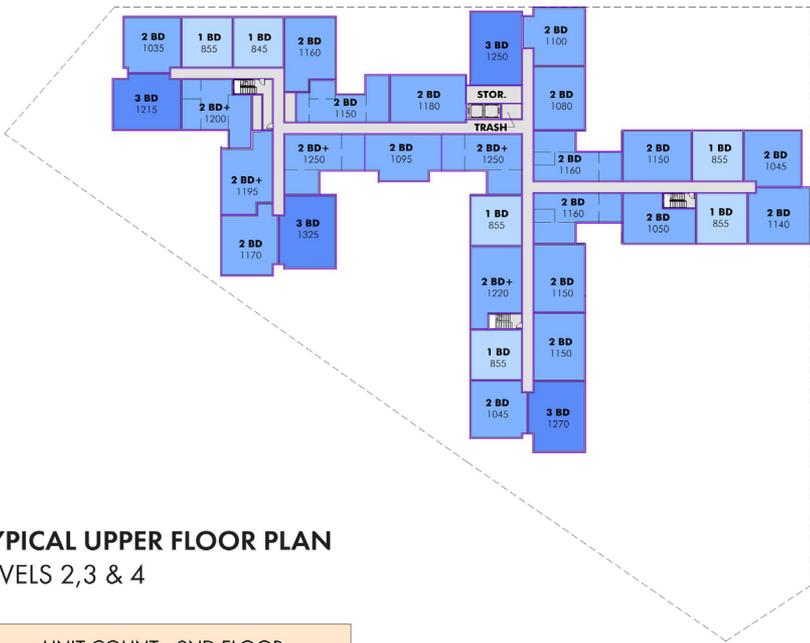
FIRST FLOOR PLAN



LOWER PARKING LEVEL PLAN

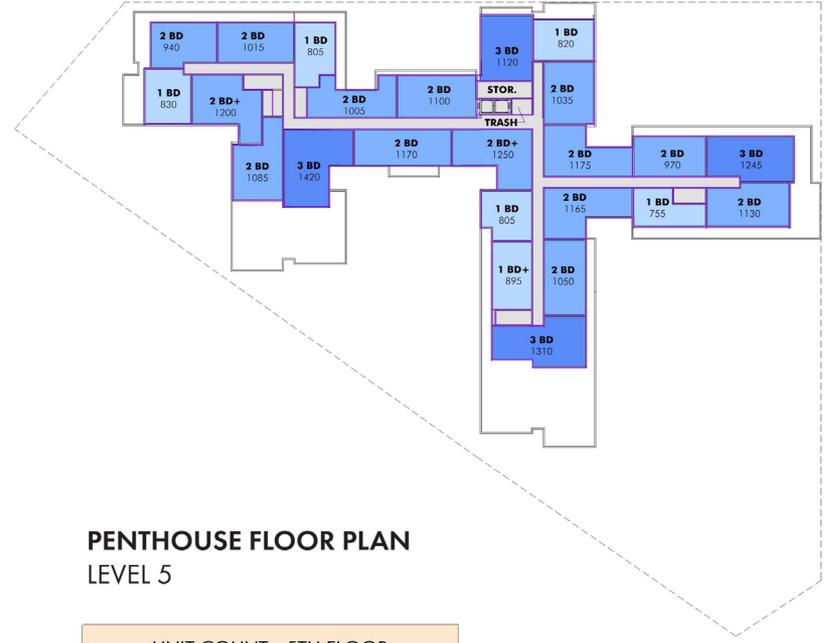
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TYPICAL UPPER FLOOR PLAN
LEVELS 2,3 & 4

UNIT COUNT - 2ND FLOOR		
TYPE	COUNT	PERCENTAGE
1 BD	6	19%
2 BD	17	52%
2 BD+	5	16%
3 BD	4	13%
TOTAL UNITS	32	



PENTHOUSE FLOOR PLAN
LEVEL 5

UNIT COUNT - 5TH FLOOR		
TYPE	COUNT	PERCENTAGE
1 BD	5	24%
1 BD+	1	5%
2 BD	12	48%
2 BD+	2	10%
3 BD	4	14%
TOTAL UNITS	24	





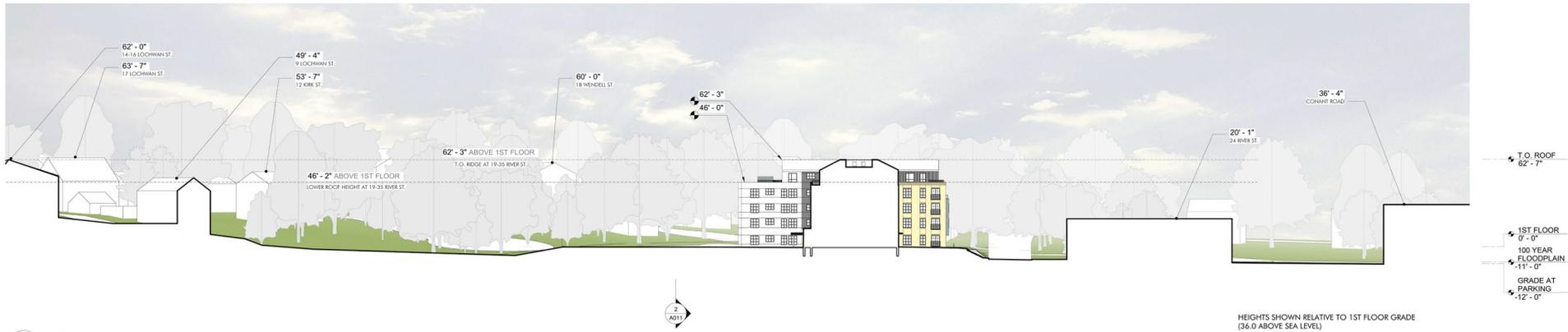
2 EAST ELEVATION
1/16" = 1'-0"



1 SOUTH ELEVATION
1/16" = 1'-0"



WEST ELEVATION



1 SITE SECTION, EAST WEST
1" = 30'-0"





FRONT AERIAL - FACING SOUTHWEST



REAR AERIAL - FACING EAST

COMMON	
AREA TYPE	AREA
CORE	705 SF
00 - GRADE AT PARKING	705 SF
CORE	3,441 SF
01 - GRADE AT RES. ENTRY	3,441 SF
CORE	5,170 SF
02 - SECOND FLOOR	5,170 SF
CORE	5,178 SF
03 - THIRD FLOOR	5,178 SF
CORE	5,170 SF
04 - FOURTH FLOOR	5,170 SF
CORE	4,484 SF
05 - FIFTH FLOOR	4,484 SF
TOTAL COMMON GSF	24,147 SF

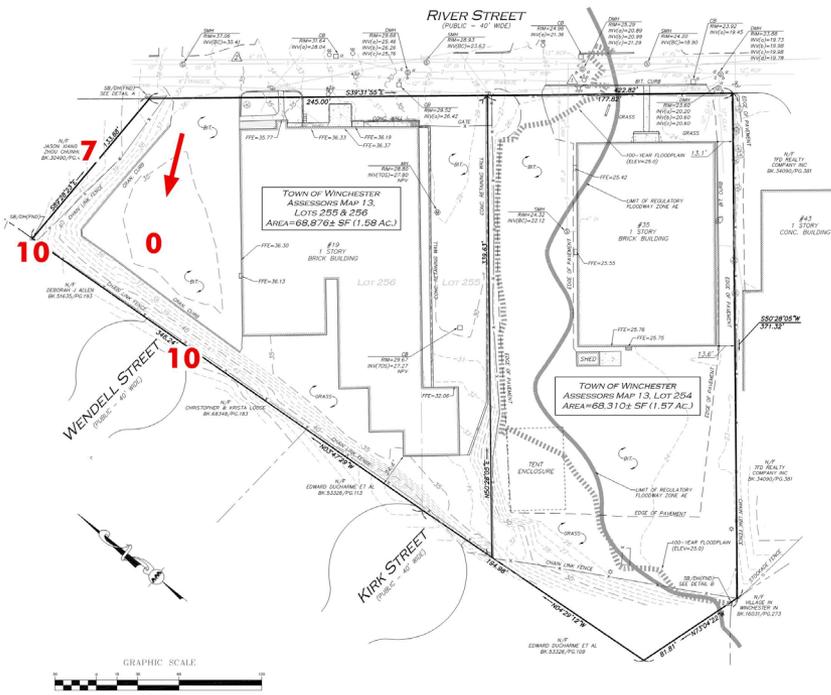
BUILDINGS GSF / FAR			
LEVEL	AREA	TOTAL SITE AREA	FAR
00 - GRADE AT PARKING	705 SF	137,185 SF	0.01
01 - FIRST FLOOR	38,990 SF	137,185 SF	0.28
02 - SECOND FLOOR	40,540 SF	137,185 SF	0.30
03 - THIRD FLOOR	40,540 SF	137,185 SF	0.30
04 - FOURTH FLOOR	40,540 SF	137,185 SF	0.30
05 - FIFTH FLOOR	29,840 SF	137,185 SF	0.30
	191,155 SF		1.39

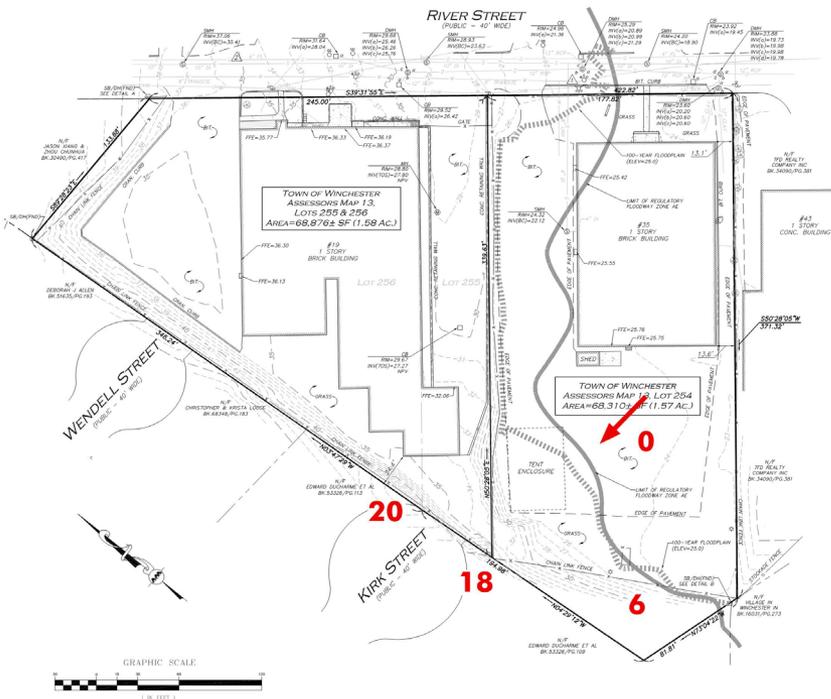
RESIDENTIAL COMMON	
AREA TYPE	AREA
COMMON AMENITY	4,232 SF
COMMON LOBBY	2,637 SF
01 - GRADE AT RES. ENTRY	6,869 SF
TOTAL COMMON GSF	6,869 SF

UNIT COUNT			
TYPE	COUNT	PERCENTAGE	AVERAGE SF
1 BD	30	21%	855
1 BD+	2	1%	925
2 BD	77	51%	1030
2 BD+	18	13%	1175
3 BD	20	13%	1250
TOTAL UNITS	147		











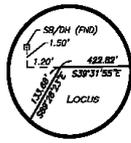
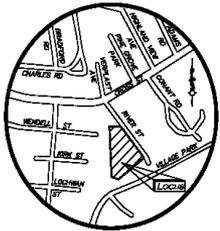
EXISTING SITE AERIAL | EMBARC





CONCEPT LAYOUT PLAN NOTES

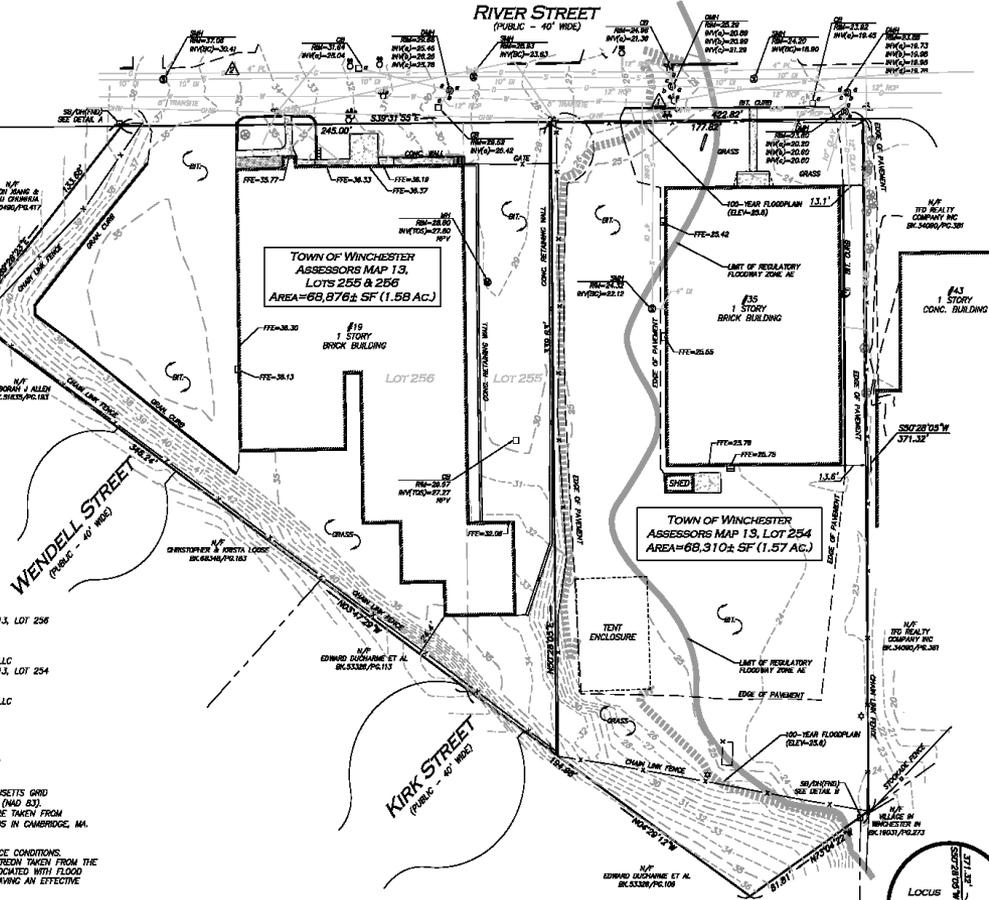
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LOCUS MAP
(NOT TO SCALE)

DETAIL A
(NOT TO SCALE)

RIVER STREET
(PUBLIC - 40' WIDE)



LOCUS REFERENCES

- TOWN OF WINCHESTER ASSESSORS MAP 1.3, LOT 256 DEED BOOK 27136, PAGE 28
- PLAN 1113 OF 1936
- PLAN 586 OF 1939
- OWNER OF RECORD: 19 RIVER STREET LLC
- TOWN OF WINCHESTER ASSESSORS MAP 1.3, LOT 254 DEED BOOK 27024, PAGE 165
- PLAN 586 OF 1939
- OWNER OF RECORD: 35 RIVER STREET LLC

PLAN REFERENCES

- PLAN BOOK 71, PLAN 49
- PLAN 451 OF 1970
- PLAN 701 OF 1935
- 1506 COUNTY LAYOUT OF CROSS STREET

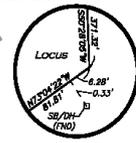
NOTES

1. NORTH ARROW IS BASED ON MASSACHUSETTS GRID COORDINATE SYSTEM (MAINLAND ZONE) (MAD 83).
2. BOOK/PAGE AND PLAN REFERENCES ARE TAKEN FROM MIDDLESEX (SOUTH) REGISTRY OF DEEDS IN CAMBRIDGE, MA.
3. VERTICAL DATUM IS NAVD 83.
4. CONTOUR INTERVAL IS ONE FOOT (1').
5. SURVEY PERFORMED UNDER SHOW & ICE CONDITIONS.
6. 100 YEAR FLOOD ELEVATION SHOWN HEREIN TAKEN FROM THE FLOOD INSURANCE STUDY REPORT ASSOCIATED WITH FLOOD INSURANCE RATE MAP 2801700408E HAVING AN EFFECTIVE DATE OF JUNE 4, 2016.

UTILITY STATEMENT

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. ALLEN & MAJOR ASSOCIATES, INC. (A&M) MAKES NO GUARANTEE THAT THE UTILITIES SHOWN HEREIN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. A&M FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. A&M HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

BENCHMARK SUMMARY		
TBM #	DESCRIPTION	ELEV.
1	X-OUT FLANGE BOLT HYDRANT	28.63
2	MAC NAIL SET IN PAVEMENT	35.10

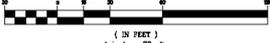


DETAIL B
(NOT TO SCALE)

LEGEND

- STONE ROUND (SR) □
- DRAIN MANHOLE (DM) ○
- SEWER MANHOLE (SMH) ⊙
- MISC. MANHOLE (MMH) ⊙
- CATCH BASIN (CB) □
- UTILITY POLE ○
- UTILITY POLE W/RISER ○
- UTILITY POLE W/LIGHT ○
- POLE HYDRANT ○
- WATER GATE ○
- GAS DATE ○
- LIGHT ○
- TREE ○
- SIGN ○
- SIGN ○
- ELECTRIC METER ○
- CONCRETE ○
- LANDSCAPED AREA (LSA) [Pattern]
- BUILDING [Pattern]
- BUILDING OVERHANG [Pattern]
- 1' CONTOUR [Pattern]
- 5' CONTOUR [Pattern]
- PROPERTY LINE [Pattern]
- ABUTTERS LINE [Pattern]
- CONCRETE RETAINING WALL [Pattern]
- EDGE OF PAVEMENT [Pattern]
- CURB [Pattern]
- CHAIN LINK FENCE [Pattern]
- STOCKADE FENCE [Pattern]
- WATER LINE [Pattern]
- SEWER LINE [Pattern]
- DRAIN LINE [Pattern]
- GAS LINE [Pattern]
- OVERHEAD WIRES [Pattern]
- FINISHED FLOOR ELEVATION [Pattern]
- BITUMINOUS [Pattern]
- CONCRETE [Pattern]
- GRANITE [Pattern]
- BOTTOM CENTER [Pattern]
- REINFORCED CONCRETE PIPE [Pattern]
- PLASTIC [Pattern]
- DUCTILE IRON PIPE [Pattern]
- NO PIPES VISIBLE [Pattern]
- TOP OF SILT [Pattern]
- STONE ROUND W/DRAIN HOLE [Pattern]
- FOUND [Pattern]
- NOW OR FORMERLY [Pattern]
- BOOK [Pattern]
- PAGE [Pattern]
- PLAN BOOK [Pattern]
- PLAN [Pattern]

GRAPHIC SCALE



1" = 30 FT.
1 inch = 30 ft.

WE HEREBY CERTIFY THAT:

THIS PLAN IS THE RESULT OF AN ACTUAL ON THE GROUND SURVEY PERFORMED ON OR BETWEEN MARCH 7, 2018 AND MARCH 23, 2018.
THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS DATED JANUARY 1, 1976 AND REVISED JANUARY 12, 1998.
ACCORDING TO DEEDS AND PLANS OF RECORD, THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES SHOWING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS OR WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS AND WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR THE DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

THE ABOVE CERTIFICATION IS INTENDED TO MEET REGISTRY OF DEEDS REQUIREMENTS FOR THE RECORDING OF PLANS AND IS NOT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN OF WINCHESTER ASSESSOR'S INFORMATION.
THE ABOVE IS CERTIFIED TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF.

ALLEN & MAJOR ASSOCIATES, INC.

ISSUED FOR REVIEW
AUGUST 8, 2018

PROFESSIONAL LAND SURVEYOR FOR ALLEN & MAJOR ASSOCIATES, INC.

REV	DATE	DESCRIPTION

APPLICANT/OWNER:
35 RIVER STREET, LLC
36 CABOT ROAD
WOBBURN, MA 01801

PROJECT:
19-35 RIVER STREET
WINCHESTER, MA

PROJECT NO. 2438-01 DATE: 08/28/18
SCALE: 1"=30' DWG. NAME: 2438-01-6C
DRAWN BY: KAC CHECKED BY: COL/ML

REGISTERED:

ALLEN & MAJOR ASSOCIATES, INC.
civil & structural engineering • land surveying
national/international consulting • landscape architecture
100 CONCORDS WAY
WOBBURN, MA 01801-3301
TEL: (978) 344-8880
FAX: (978) 344-8884

WOBBURN, MA • LASEVILLE, MA • MARCHESTER, NH

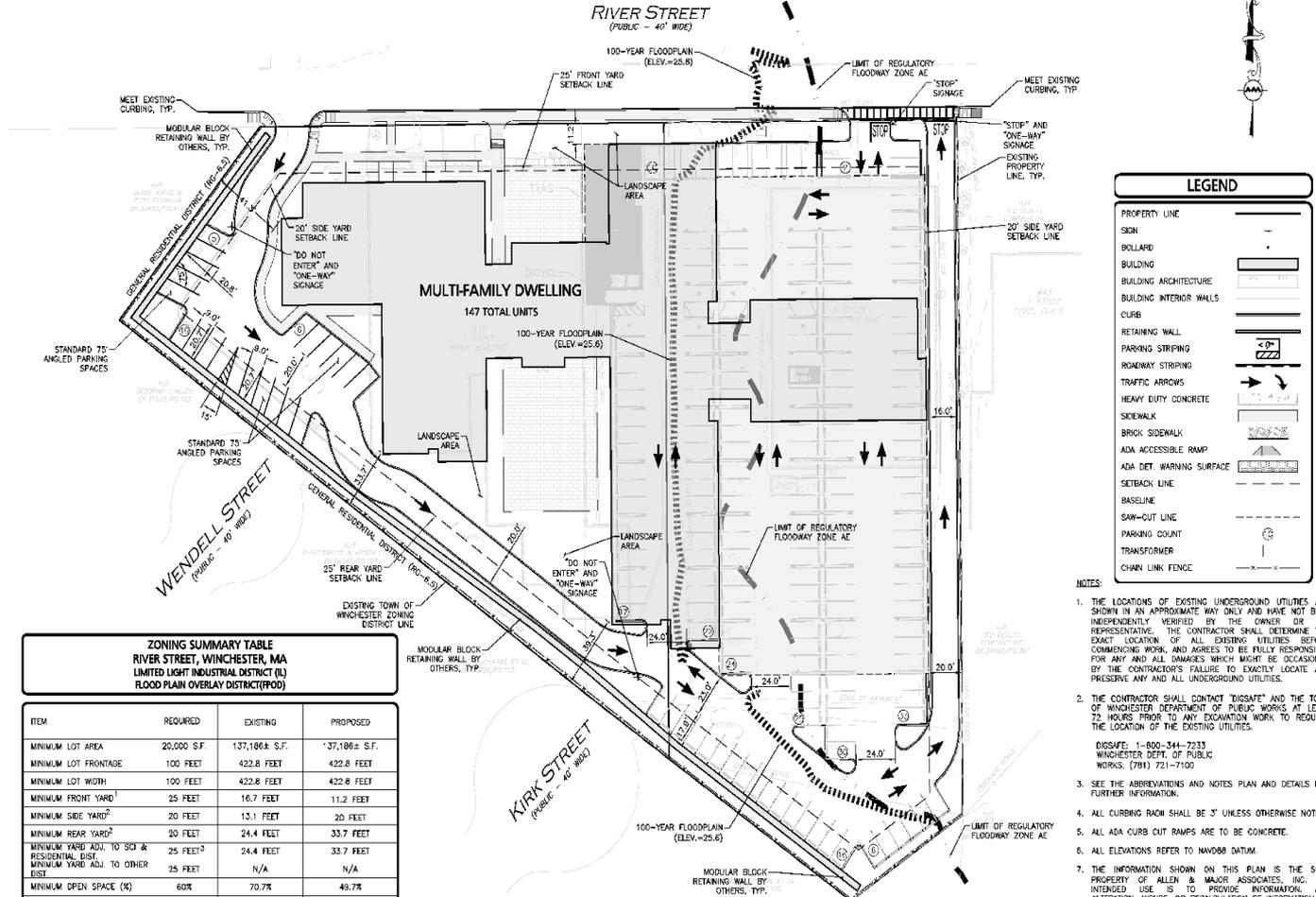
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DRAWING TITLE: EXISTING CONDITIONS

SHEET NO. 1

PROJECT: 2438-01 SURVEY DRAWING: 19-35-01-6C-02
DATE: 08/28/18

ALLEN & MAJOR ASSOCIATES, INC. PROJECT NO. 2459-01 (SHEET 1 OF 2) DRAWING COURTESY C-2759-01 - LAYOUT & MATERIALS PLAN



ZONING SUMMARY TABLE
RIVER STREET, WINCHESTER, MA
LIMITED LIGHT INDUSTRIAL DISTRICT (LL)
FLOOR PLAN OVERLAY DISTRICT (POD)

ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	20,000 S.F.	137,106.8 S.F.	*37,106.8 S.F.
MINIMUM LOT FRONTAGE	100 FEET	422.8 FEET	422.8 FEET
MINIMUM LOT WIDTH	100 FEET	422.8 FEET	422.8 FEET
MINIMUM FRONT YARD ¹	25 FEET	16.7 FEET	11.2 FEET
MINIMUM SIDE YARD ²	20 FEET	13.1 FEET	20 FEET
MINIMUM REAR YARD ²	20 FEET	24.4 FEET	33.7 FEET
MINIMUM YARD ADJ. TO SOI & RESIDENTIAL USE ³	25 FEET ³	24.4 FEET	33.7 FEET
MINIMUM YARD ADJ. TO OTHER USE ³	25 FEET	N/A	N/A
MINIMUM OPEN SPACE (%)	60%	70.7%	48.7%
MINIMUM GREEN SPACE (%)	NR	NR	NR
MAXIMUM HARDSCAPE (%)	NR	NR	NR
MAXIMUM BUILDING STORES	3 STORES	1 STORY	5 STORES
MAXIMUM BUILDING HEIGHT ⁴	45 FEET	< 45 FEET	70 FEET
MINIMUM DISTANCE BETWEEN BUILDINGS	30 FEET ⁵	81.3 FEET	N/A
MIN. FLOOR AREA RATIO (FAR)	1.0	0.29	1.39

- NOTES:**
- WHERE BUILDING LINES ARE SPECIFIED BY TOWN OF WINCHESTER UNDER THE BYLAW "BUILDING LINES ESTABLISHED UNDER THE PROVISIONS OF SECTION 37 OF CHAPTER 82 OF THE GENERAL LAWS PRIOR TO JULY 1, 1982" NO BUILDING SHALL BE CLOSER TO THE STREET THAN SUCH BUILDING LINE DISTANCE OR AS SPECIFIED BY THE MINIMUM FRONT YARD REQUIREMENT CONTAINED HEREIN, WHICHEVER IS MORE RESTRICTIVE.
 - FOR USES PERMITTED UNDER SPECIAL PERMITS, INCREASE THE REQUIRED FRONT AND SIDE YARD REQUIREMENTS BY FIVE (5) FEET.
 - THE 25'-FOOT MINIMUM YARD REQUIREMENT SHALL BE HEFT IN ITS NATURAL STATE, WHERE WOODED, AND WHEN ITS NATURAL VEGETATION IS SPARSE OR INADEQUATE, A YEAR-ROUND VISUAL SCREEN SHALL BE REQUIRED. NO PRINCIPAL OR ACCESSORY STRUCTURE, NOR ANY OFF-STREET PARKING, DRIVEWAYS, LOADING AREAS OR OTHER USE SHALL BE PERMITTED IN THE BUFFER AREA.
 - DOES NOT APPLY TO CHIMNEYS, VENTILATORS AND OTHER STRUCTURAL FEATURES USUALLY CARRIED ABOVE ROOFS. NOT TO DOORS, TOWERS OR SPIRES OF BUILDINGS PROVIDED SUCH FEATURES ARE IN NO WAY USED FOR LIVING PURPOSES. MAXIMUM HEIGHT, EXCEPT FOR CHURCH SPIRES OR DOMES, SHALL NOT EXCEED 15 FEET ABOVE THE HEIGHT PERMITTED IN THE DISTRICT. SEE LOCAL BYLAW DEFINITION - "HEIGHT OF A BUILDING."
 - BUILDINGS SHALL BE SURROUNDED BY FIRE LINES. (SEE LOCAL BYLAW DEFINITIONS.)

PARKING SUMMARY CHART

OFF-STREET PARKING:
 USE: GROUP, GARDEN APARTMENT, TOWN HOUSES

2 SPACES PER DWELLING UNIT

TOTAL NUMBER OF PROPOSED UNITS: 147 UNITS

TOTAL PARKING REQUIREMENT: (147 UNITS x 2 SPACES/UNIT) = 294 SPACES

ADA/ACCESSIBLE PARKING:
 THERE ARE BETWEEN 201 TO 300 TOTAL PARKING SPACES REQUIRING 7 OF THEM BE ACCESSIBLE. 7 ADA ACCESSIBLE SPACES HAVE BEEN PROVIDED.

ADA REGULATIONS STATE THAT 1 OF EVERY 6 ADA SPACES SHALL BE VAN ACCESSIBLE. 2 OF THE ADA SPACES SHALL BE VAN ACCESSIBLE.

STANDARD SPACES	COMPACT SPACES	ACCESSIBLE SPACES	TOTAL PROVIDED	TOTAL REQUIRED
199	0	7 (6 VAN)	206	294



PROFESSIONAL PLAN FOR
 ALLEN & MAJOR ASSOCIATES, INC.

REV. DATE DESCRIPTION

APPLICANT/OWNER:
 35 RIVER STREET, LLC
 36 CABOT STREET
 WOBURN, MA, 01801

19-35 RIVER STREET
 WINCHESTER, MA

PROJECT NO. 2459-01 DATE: 08/08/2008
 SCALE: 1"=30' DWG. NAME: CH249
 DESIGNED BY: SAJ/CMQ CHECKED BY: CMQ

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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET No. C-102

Proposed Residential Community 19-35 River Street Winchester, Massachusetts

Transportation Impact Assessment Summary

Prepared by:



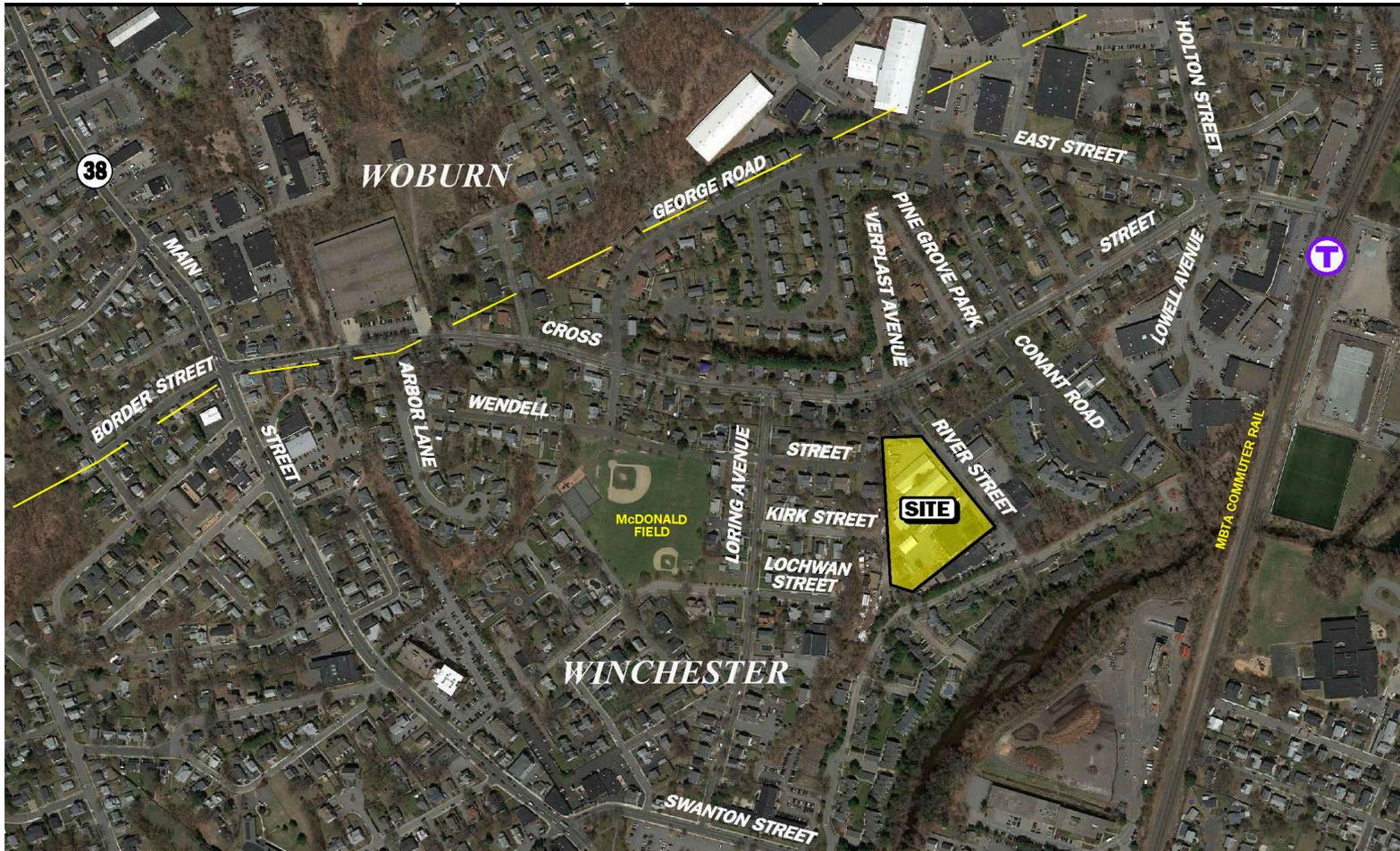
September 16, 2019



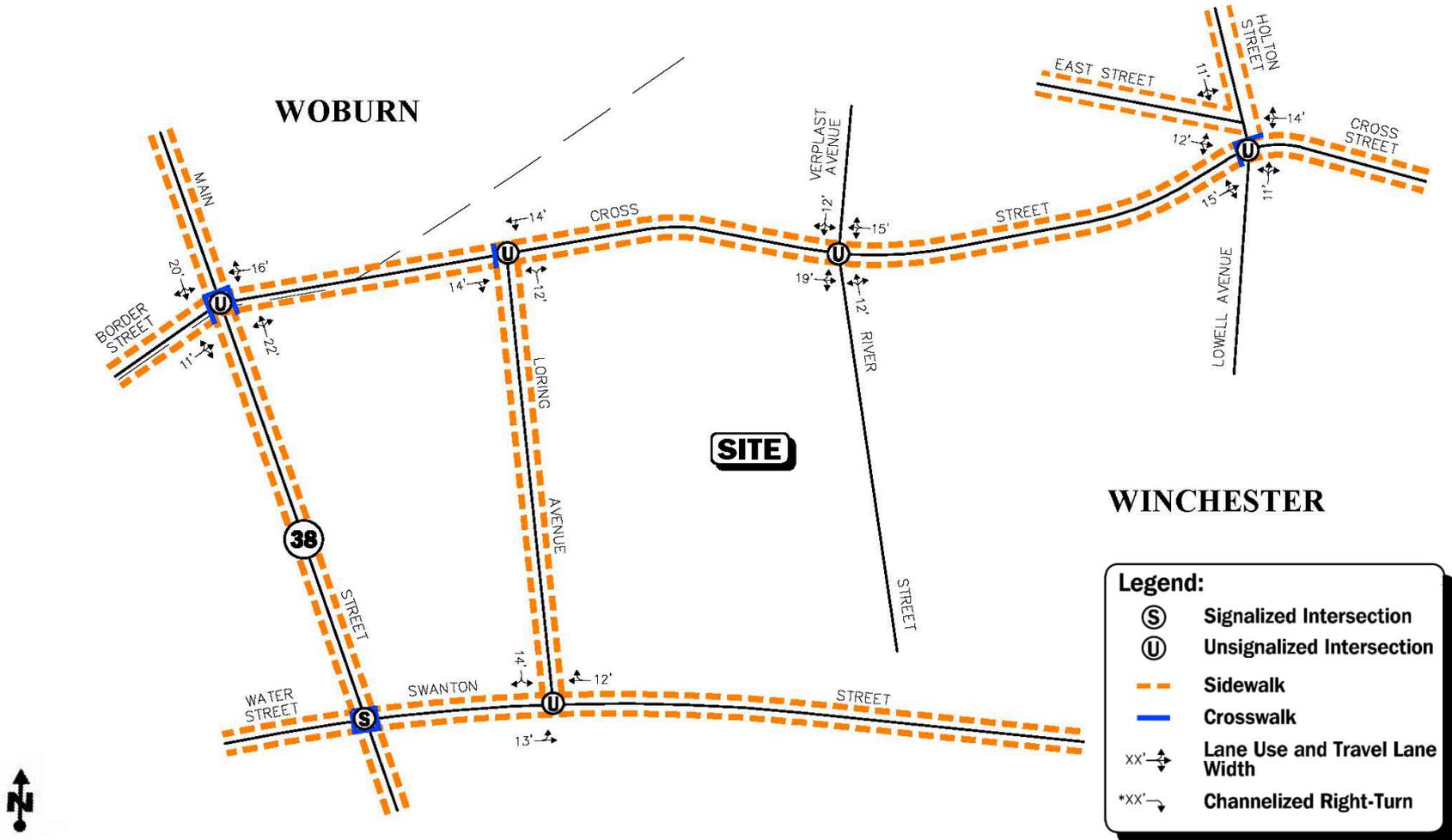
Transportation Impact Assessment Summary

- ▶ Prepared in consultation with the Town and MassDOT, and performed in accordance with MassDOT's *Transportation Impact Assessment (TIA) Guidelines*;
- ▶ Includes a detailed assessment of traffic volumes, pedestrian and bicycle accommodations and public transportation services;
- ▶ The Project will not have a significant impact (increase) on motorist delays or vehicle queuing over Existing or anticipated future conditions without the Project (No-Build conditions), with Project-related impacts generally defined as an increase in motorist delay of up to 37.2 seconds (River Street approach to Cross Street) and in vehicle queuing of up to two (2) vehicles;
- ▶ All movements at the Project site driveway intersections with River Street are expected to operate at LOS A during both the weekday morning and evening peak hours, with negligible vehicle queuing predicted;
- ▶ The Main Street/Cross Street/Border Street intersection is included on MassDOT's High Crash Location listing. Recommendations have been provided to advance safety-related improvements at this intersection; and
- ▶ Lines of sight to and from the Cross Street/River Street/Verplast Avenue intersection and at the Project site driveway intersections with River Street were found to exceed the required minimum distance for the intersections to function in a safe manner. 

Site Location Map



Existing Intersection Lane Use, Travel Lane Width and Pedestrian Facilities



Trip Generation Summary

	Vehicle Trips
Time Period/Direction	Proposed Residential Community (147 Units) ^a
Average Weekday Daily:	
Entering	400
<u>Exiting</u>	<u>400</u>
Total	800
Weekday Morning Peak Hour:	
Entering	13
<u>Exiting</u>	<u>37</u>
Total	50
Weekday Evening Peak Hour:	
Entering	39
<u>Exiting</u>	<u>25</u>
Total	64

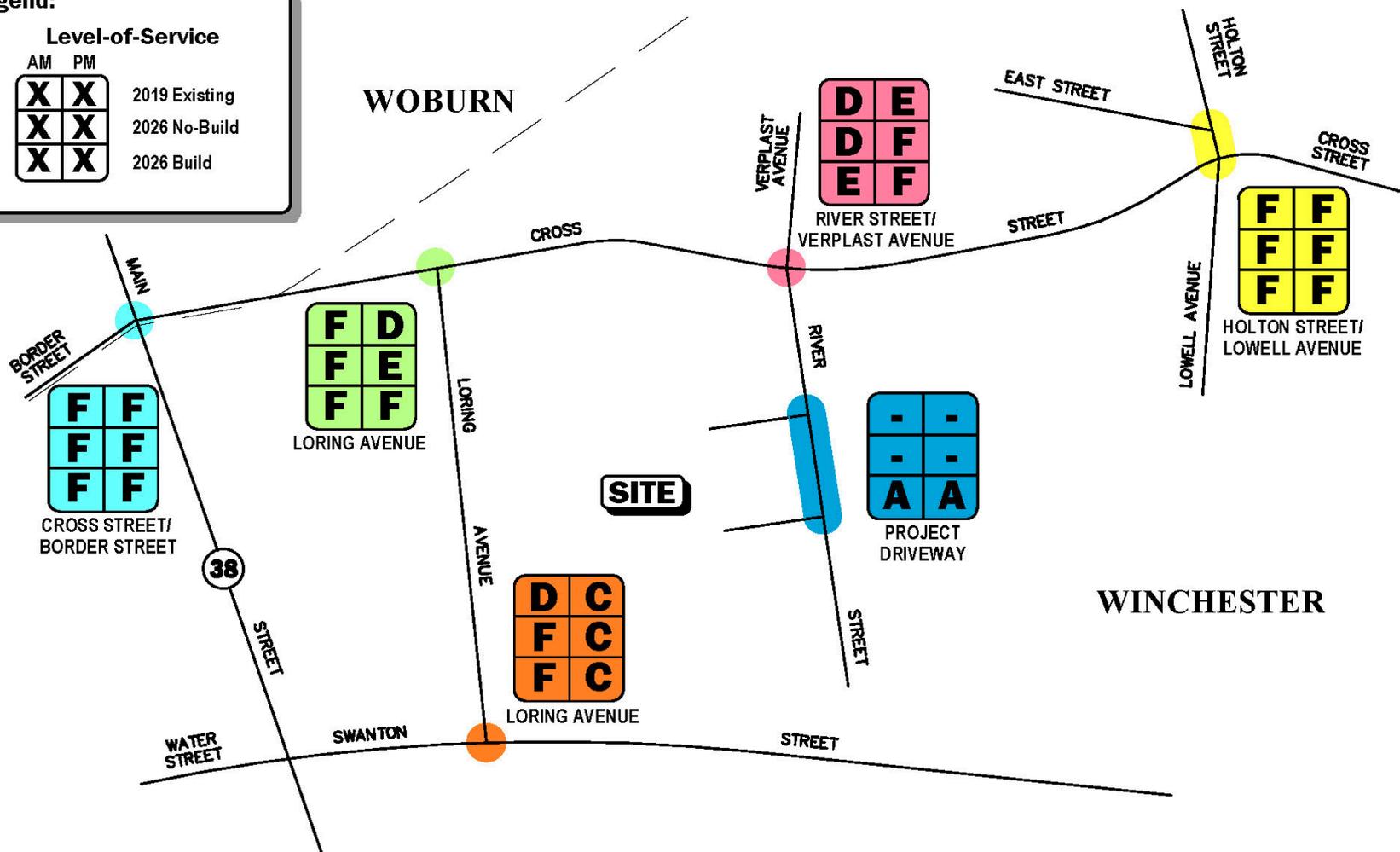
^aBased on ITE LUC 221, *Multifamily Housing (Mid-Rise)*.

Traffic Operations Analysis Summary

Legend:

Level-of-Service

AM	PM	
X	X	2019 Existing
X	X	2026 No-Build
X	X	2026 Build



Transportation Improvement Program

Initial Improvement Program is Generally Consistent with the Recommendations Developed as a Part of the Cross Street Traffic Calming Study and will be Refined in Consultation with the Town and the Peer Review Consultant

▶ **Main Street at Cross Street and Border Street:**

- Facilitate the completion of a Road Safety Audit (RSA) to identify improvement strategies to enhance safety

▶ **Cross Street at River Street and Verplast Avenue:**

- Install a STOP-sign and Stop-line on Verplast Avenue approach

▶ **Cross Street at Holton Street, East Street and Lowell Avenue:**

- Contribute a “fair-share” portion of the const to design and construct improvements at these intersections
- Install a STOP-sign and STOP-line on East Street and Lowell Avenue approaches

▶ **Cross Street at Loring Avenue:**

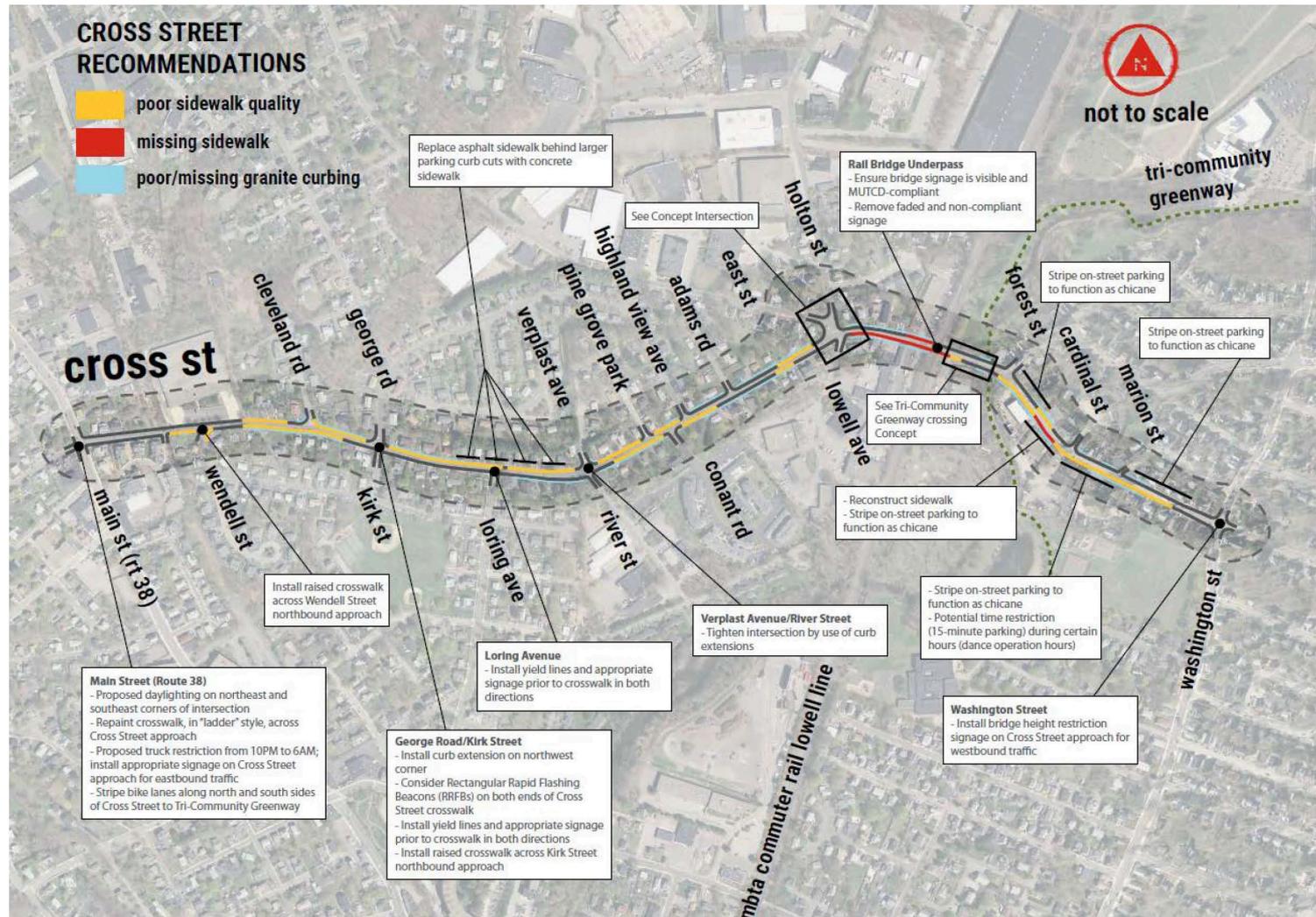
- Contribute a “fair-share” portion of the const to design and construct improvements at these intersections

Transportation Improvement Program

▶ Transportation Demand Management:

- Participate with the Town and other area multifamily residential communities and business to discuss opportunities to establish a Transportation Management Association (TMA) for Winchester as a means of providing a local shuttle service for residents and businesses. This service may take the form of an expansion of the shuttle service that is currently operated by Winchester Hospital.
- Information regarding public transportation services, maps, schedules and fare information will be available to residents;
- A “welcome packet” will be provided to residents detailing available public transportation services, bicycle and walking alternatives, and commuter options;
- Pedestrian accommodations will be provided consisting of a sidewalk along the Project site frontage that will extend to Cross Street to the extent that there is available public right-of-way for the extension beyond the Project site frontage;
- A mail drop will be provided in a central location; and
- Secure bicycle parking will be provided

Cross Street Traffic Calming Report Recommendations



Source: Cross Street Traffic Calming Study and Concept Development, Toole Design, July 26, 2019

Cross Street Traffic Calming Report Recommendations

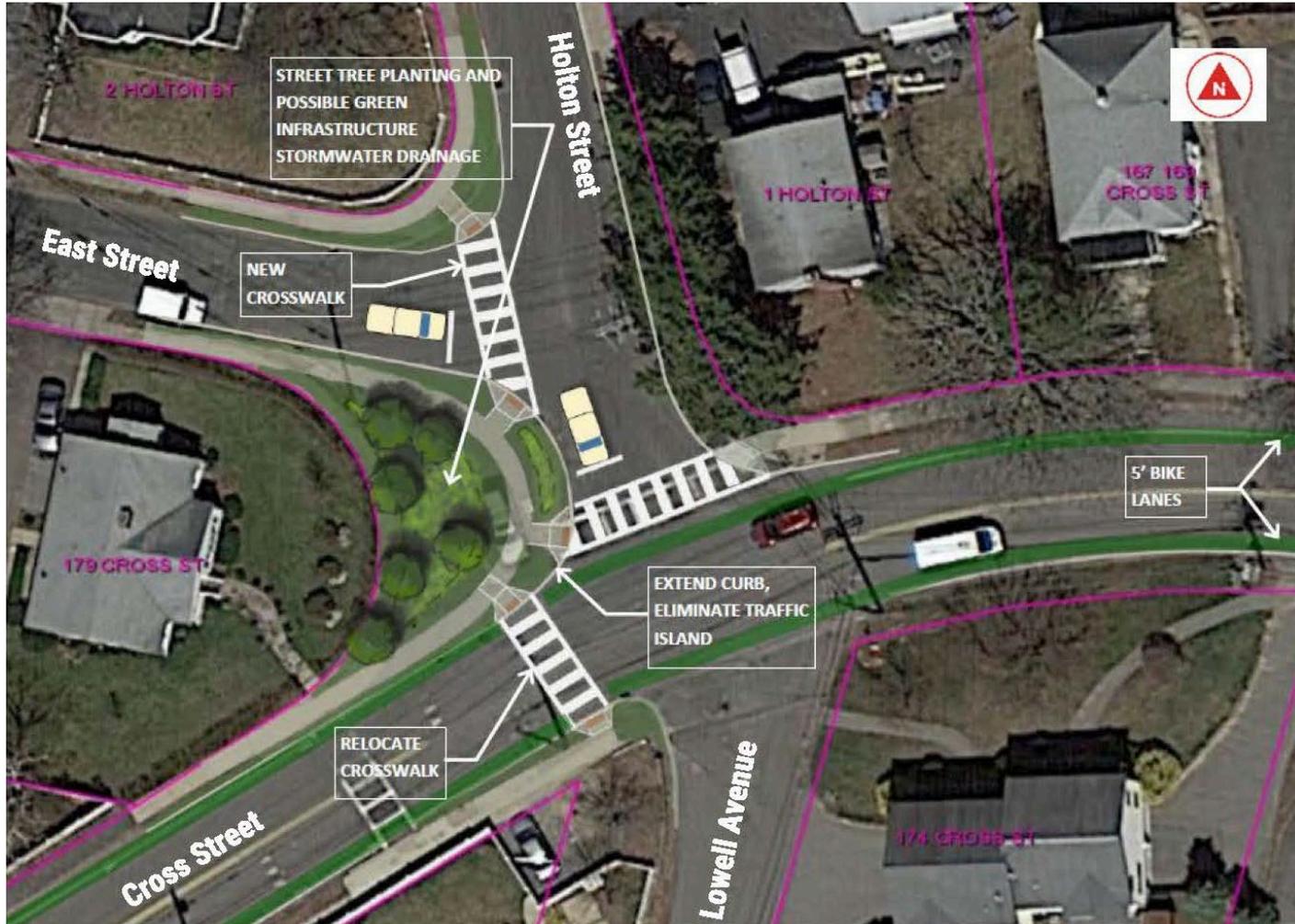


Figure 17: Cross Street at Holton Street/East Street and Lowell Avenue Concept

Source: Cross Street Traffic Calming Study and Concept Development, Toole Design, July 26, 2019